



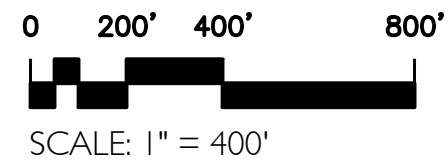
## SITE INFO

ADDRESS:	NO SITUS
ZONE:	M-1 (I-O OVERLAY)
SITE AREA:	89,930 SF (2.06 ACRES)



### LUCKY FOODS CANBY, OREGON

15895 SW 72ND AVE SUITE 200  
PORTLAND, OREGON 97224  
TEL: 503.226.1285  
FAX: 503.226.1670



9/24/2021  
GMR

### VICINITY MAP

SCALE: 1"=400'  
210146.01

# PROJECT INFO

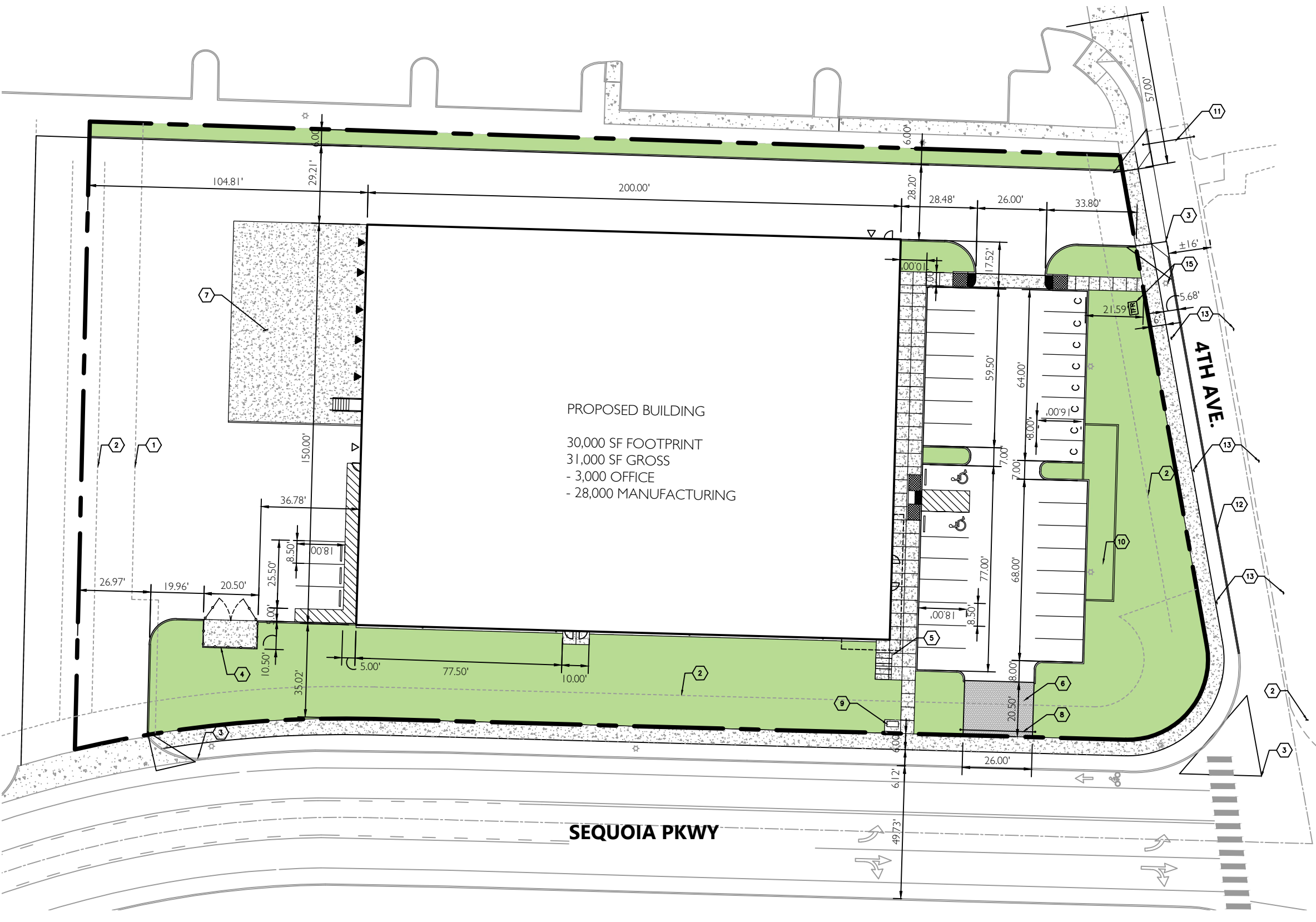
ZONE:	M-1 (I-O OVERLAY)	
BUILDING AREA:	31,000 SF	
	- 1ST FLR = 30,000 SF	
	- 2ND FLR = 1,000 SF	
SITE AREA:	89,930 SF (2.06 ACRES)	
IMPERVIOUS SURFACE:	70,570 SF 78%	
LANDSCAPE AREA:	19,360 SF 22%	
PARKING PROVIDED:		
TYPE	SIZE	# PROVIDED
STANDARD	8.5' X 18'	24 STALLS
COMPACT	8' X 16'	8 STALLS
H/C ACCESSIBLE	9' X 18'	2 STALLS
TOTAL PROVIDED PARKING:		34 STALLS
BICYCLE PARKING PROVIDED:		5 STALLS

## LEGEND

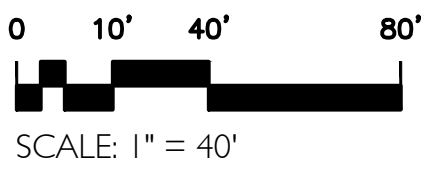
ACCESSIBLE PARKING STALL	ADA AISLE
COMPACT PARKING STALL	GRASSCRETE
GRADE LEVEL OVERHEAD DOOR	LANDSCAPE
DOCK HIGH OVERHEAD DOOR	

## KEYNOTES

- 1 EXISTING DRIVEWAY EASEMENT
- 2 EXISTING UTILITY EASEMENT
- 3 VISION CLEARANCE
- 4 TRASH ENCLOSURE - CHAINLINK W/ PRIVACY SLATS
- 5 BIKE RACKS
- 6 EMERGENCY FIRE ACCESS DRIVEWAY - GRASSCRETE
- 7 CONCRETE APRON
- 8 BOLLARDS W/ SECURITY CHAIN
- 9 BENCH
- 10 STORM WATER PLANTER
- 11 EXISTING CHAIN - POST "DEAD END" SIGN ON CHAIN
- 12 CURB PAINTED RED WITH "FIRE LANE NO PARKING" IN WHITE LETTERING
- 13 "NO PARKING FIRE LANE" SIGNS BOTH SIDES OF THE STREET AT 50' DISTANCE BETWEEN
- 14 SIGNAGE "LOCAL ACCESS ONLY"
- 15 RELOCATED STREET LIGHT AND ELEC. TRANSFORMER



NOTE: SEE PROVIDED CIVIL ONSITE SHEETS FOR GRADING AND UTILITY PLAN.



### SITE PLAN

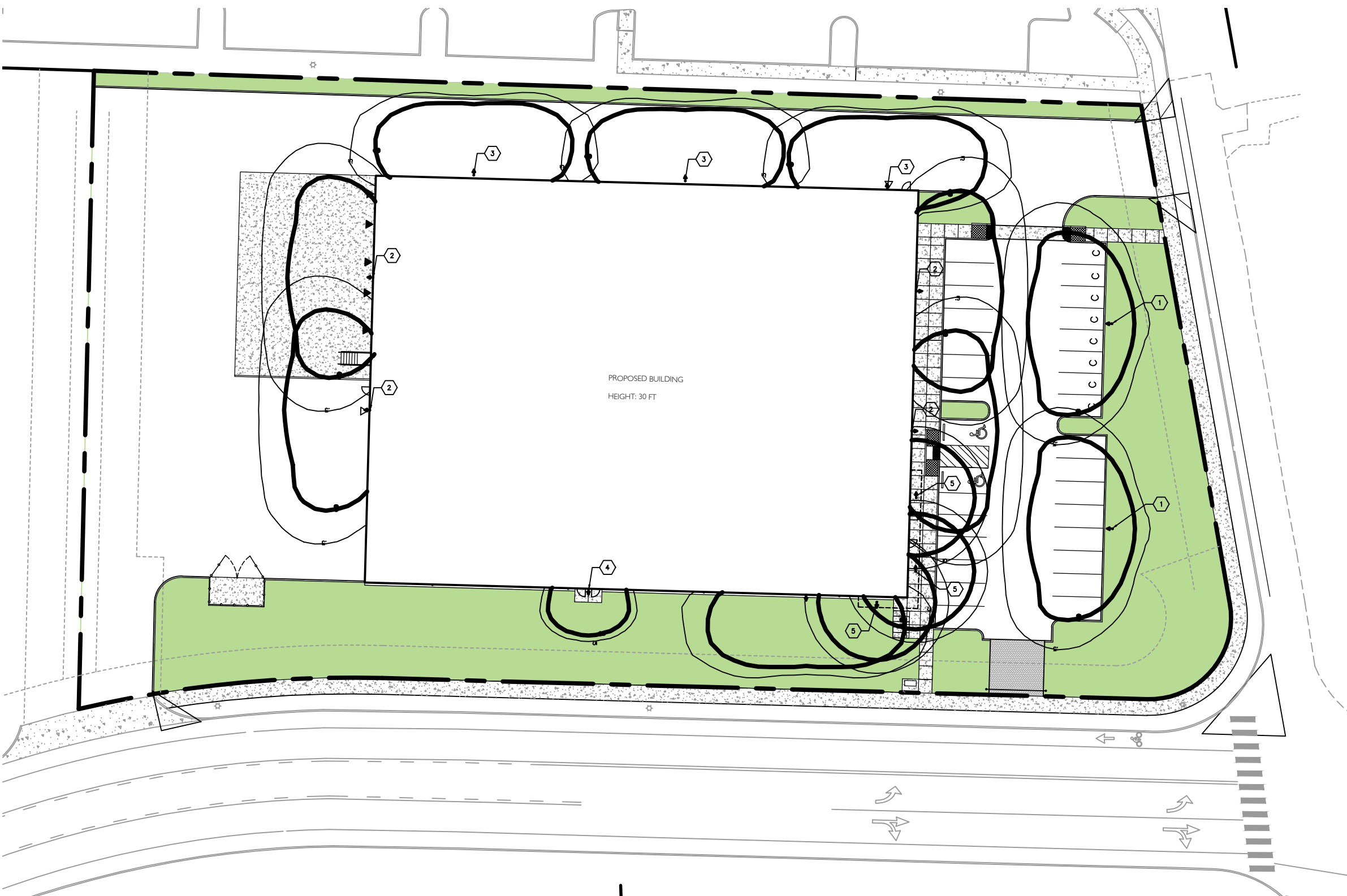
12/02/2021  
GMR  
SCALE: 1"=40'  
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
## GENERAL NOTES

LIGHTING STANDARDS SHOWN IN PARKING AREAS SHALL BE ENCASED IN 1'-6" DIAMETER x 3'-0" TALL SOLID CONCRETE BASES






ALL LIGHTING SHOWN SHALL BE MODIFIED WITH CUTOFF FIXTURES AS REQUIRED TO PREVENT LIGHT FROM SHINNING DIRECTLY OFF DEVELOPED AREA. ALL LIGHT FIXTURES UNDER 7800 LUMENS.

WALLPACK, CANOPY AND PARKING LOT LIGHTS ARE ZONED FOR AUTOMATIC ON AT DUSK AND OFF AT DAWN BY USING A LIGHT SENSOR.

## LEGEND

-  APPROXIMATE 1.0 FC ISOLUM
-  APPROXIMATE 0.5 FC ISOLUM

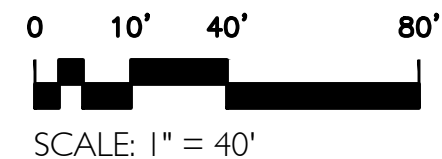
## KEYNOTES

-  **1** POLE MOUNTED LIGHT FIXTURE @ 20'-0"  
- LITHONIA LIGHTING - RSX1 OR APPROVED EQUAL - LED P1 40K R3 EGS - BLACK, DARK SKY RATED, W/ CUTOFFS - SQUARE POLE MOUNTED.
-  **2** BUILDING MOUNTED LIGHT FIXTURE @ 22'-0" AFF  
- LITHONIA LIGHTING - WDGE3 LED OR APPROVED EQUAL - P3 70 CRI R3 40K - BLACK
-  **3** BUILDING MOUNTED LIGHT FIXTURE @ 22'-0" AFF  
- LITHONIA LIGHTING - WDGE3 LED OR APPROVED EQUAL - P3 70 CRI R2 40K - BLACK
-  **4** BUILDING MOUNTED LIGHT FIXTURE @ 8'-0" AFF  
- LITHONIA LIGHTING - WDGE2 LED OR APPROVED EQUAL - P3 40K 80 VF - BLACK
-  **5** UNDER CANOPY LIGHT FIXTURE @ 10'-0" AFF  
- LITHONIA LIGHTING - CNY LED OR APPROVED EQUAL - P3 40K MVOLT - BLACK



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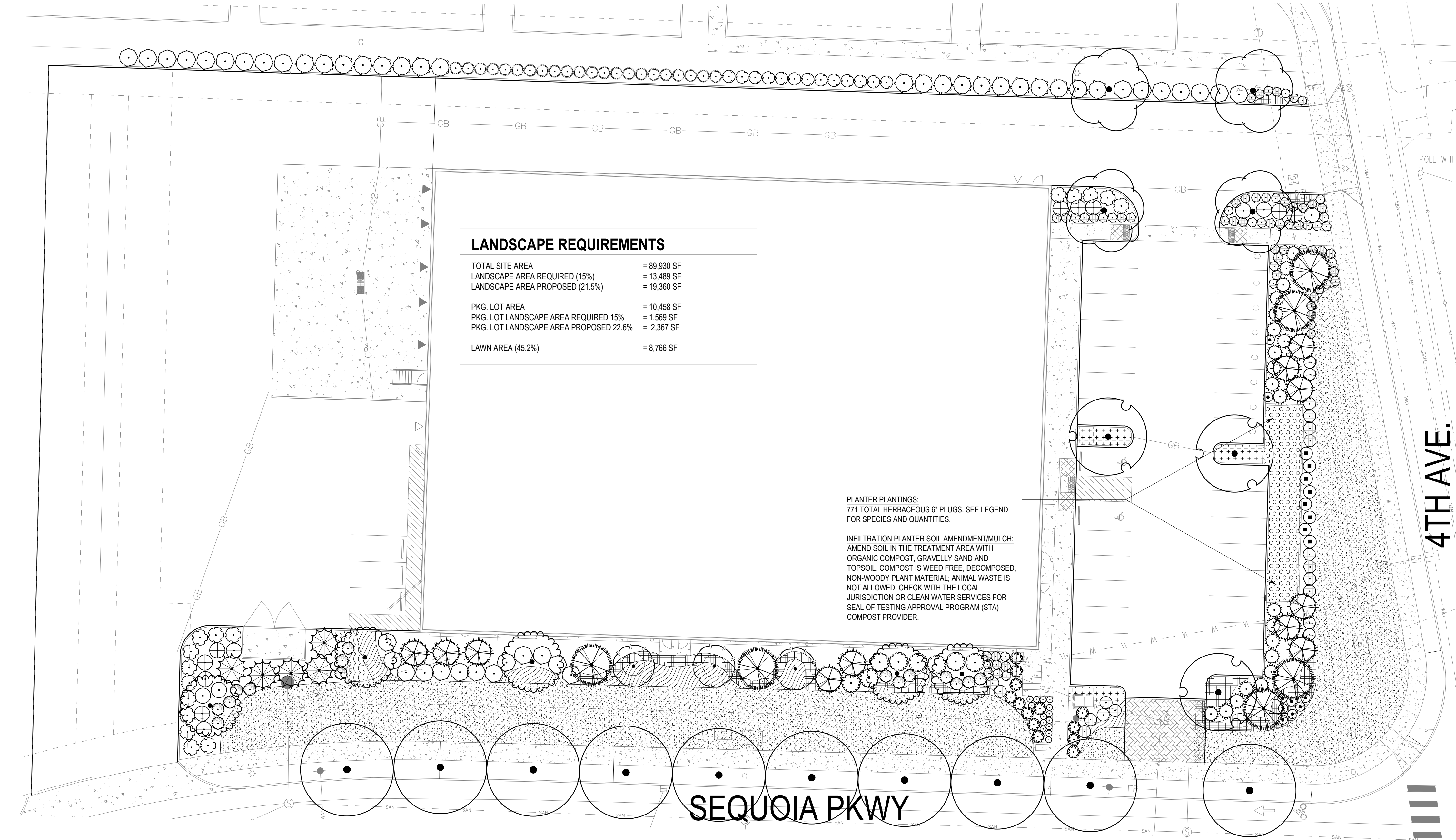


### SITE LIGHTING PLAN

9/24/2021  
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SCALE: 1"=40'  
210146.01





LANDSCAPE REQUIREMENTS	
TOTAL SITE AREA	= 89,930 SF
LANDSCAPE AREA REQUIRED (15%)	= 13,489 SF
LANDSCAPE AREA PROPOSED (21.5%)	= 19,360 SF
PKG. LOT AREA	= 10,458 SF
PKG. LOT LANDSCAPE AREA REQUIRED 15%	= 1,569 SF
PKG. LOT LANDSCAPE AREA PROPOSED 22.6%	= 2,367 SF
LAWN AREA (45.2%)	= 8,766 SF

**PLANTER PLANTINGS:**  
771 TOTAL HERBACEOUS 6" PLUGS. SEE LEGEND FOR SPECIES AND QUANTITIES.

**INFILTRATION PLANTER SOIL AMENDMENT/MULCH:**  
AMEND SOIL IN THE TREATMENT AREA WITH ORGANIC COMPOST, GRAVELLY SAND AND TOPSOIL. COMPOST IS WEED FREE, DECOMPOSED, NON-WOODY PLANT MATERIAL; ANIMAL WASTE IS NOT ALLOWED. CHECK WITH THE LOCAL JURISDICTION OR CLEAN WATER SERVICES FOR SEAL OF TESTING APPROVAL PROGRAM (STA) COMPOST PROVIDER.

**PLANTING NOTES**

- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT CITY OF CANBY STANDARDS AND THE OREGON STRUCTURAL SPECIALTY CODE.
- CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT AT LEAST TWO WEEKS PRIOR TO START OF LANDSCAPE WORK TO REVIEW PLANT SUBSTITUTIONS & JURISDICTIONAL REQUIREMENTS.
- SUBSTITUTIONS WILL NOT BE ACCEPTED UNLESS SPECIFICALLY ACCEPTED IN WRITING BY THE OWNER OR OWNER'S REPRESENTATIVE.
- VERIFY ALL EXISTING CONDITIONS, INCLUDING LOCATION OF PROPERTY LINES, PRIOR TO BEGINNING ANY WORK. REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- DO NOT WILLFULLY PROCEED WITH CONSTRUCTION WHEN UNKNOWN OBSTRUCTIONS AND/OR DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. IMMEDIATELY NOTIFY OWNER'S REPRESENTATIVE OF UNKNOWN OBSTRUCTIONS AND/OR DIFFERENCES. PRIOR TO REMOVING ANY EXISTING FEATURES, REVIEW AND CONFIRM EXTENT OF DEMOLITION WITH OWNER'S REPRESENTATIVE.
- PROTECT EXISTING ITEMS TO REMAIN DURING CONSTRUCTION. ANY DAMAGE TO EXISTING ITEMS DESIGNATED TO REMAIN I.E. CURBS, WALKS, PLANT MATERIAL, LAWN OR FENCES SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES, LINES, PIPES, VAULTS, OR BOXES PRIOR TO EXCAVATION. MARK AND PROTECT ALL UTILITIES. SITE FEATURES AND VEGETATION TO REMAIN IN PLACE. ANY DAMAGE TO ANY KNOWN EXISTING UTILITY ELEMENTS SHALL BE REPAIRED PROPERLY AND IMMEDIATELY.
- REMOVE FROM THE SITE AND LEGALLY DISPOSE OF ALL DEBRIS AND EXCAVATED MATERIAL NOT REQUIRED FOR FILL. NO RUBBISH OR DEBRIS SHALL BE BURIED ON THE SITE.
- MAINTAIN ALL ROADWAYS AND PAVED PATHWAYS CLEAN AND FREE OF CONSTRUCTION MATERIALS AND DEBRIS, PROVIDING NECESSARY DUST CONTROL WHERE REQUIRED.
- COORDINATE AND SCHEDULE ALL WORK WITH THE OWNER'S REPRESENTATIVE.
- INSTALL EROSION CONTROL SYSTEMS IN ACCORDANCE WITH CITY OF CANBY STANDARDS PRIOR TO SITE WORK AND LANDSCAPE INSTALLATION.
- CONTRACTOR SHALL PROVIDE TOPSOIL, SOIL AMENDMENTS, AND EROSION CONTROL.
- CONTRACTOR SHALL SUBMIT CERTIFIED TOPSOIL ANALYSIS REPORT FOR OWNER'S APPROVAL PRIOR TO PLANT INSTALLATION. SEE SPECS.
- CONTRACTOR IS RESPONSIBLE FOR ANY AMENDMENTS TO SOIL PH FERTILITY AND/OR DRAINAGE CONDITIONS NECESSARY TO ENSURE PROPER GROWING CONDITIONS FOR PROPOSED PLANTINGS. SEE SPECS.
- CONTRACTOR SHALL FOLLOW PROVIDER'S INSTRUCTIONS AND RECOMMENDATIONS FOR SEEDING.
- ALL PLANTS SHALL BE IRRIGATED BY A FULLY AUTOMATED, PERMANENT IRRIGATION SYSTEM UNLESS OTHERWISE NOTED. SEE SPECS.
- PRIOR TO FINAL ACCEPTANCE, CONTRACTOR SHALL PROVIDE OWNER WITH AS-BUILT PLANS OF THE INSTALLATION, COPIES OF ALL OPERATION MANUALS AND WARRANTY DOCUMENTS.
- ALL NEW PLANTS IN LANDSCAPE AREAS SHALL BE WARRANTED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE.
- COORDINATE INSTALLATION PLANTING MATERIALS WITH IRRIGATION. PLANT ONLY IN AREAS WHERE THE IRRIGATION SYSTEM IS COMPLETE AND FULLY OPERATIONAL.

- PLANT HEALTH AND REPLACEMENT**
- PROVIDE PLANT MATERIAL THAT IS HEALTHY NURSERY STOCK, WELL BRANCHED, AND FULL FOLIATED WHEN IN LEAF; AND FREE FROM DISEASE, INJURY, INSECTS, WEEDS AND WEED ROOTS.
  - PLANT MATERIALS NOT MEETING SPECIFICATION REQUIREMENTS WILL BE REJECTED.

- INITIAL INSPECTION OF PLANT MATERIAL**
- ASSEMBLE ALL PLANTS FOR EACH INSPECTION AT ONE LOCATION FOR INSPECTION TO BE COMPLETED IN ONE VISIT. ANY FURTHER INSPECTION REQUIRED DUE TO PLANTS BEING UNAVAILABLE, REJECTED, AND/OR NOT MEETING SPECIFICATIONS SHALL BE CHARGED TO THE CONTRACTOR AT THE CURRENT HOURLY RATE FOR THE LANDSCAPE ARCHITECT PERFORMING THE INSPECTION.
  - OWNER RETAINS RIGHT TO OBSERVE TREES AND SHRUBS FURTHER FOR SIZE AND CONDITION OF BALLS AND ROOT SYSTEMS, INSECTS, INJURIES, AND LATENT DEFECTS AND TO REJECT UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY TIME DURING PROGRESS OF WORK.
  - REMOVE REJECTED TREES OR SHRUBS FROM PROJECT SITE WITHIN 24 HOURS.
  - REPLACE PLANT MATERIALS REJECTED BY OWNER AT NO ADDITIONAL EXPENSE TO OWNER.

- PLANT LAYOUT AND INSPECTION**
- ALL PLANTS SHALL BE INSTALLED ACCORDING TO AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1) AS WELL AS DETAIL DRAWINGS AND SPECIFICATIONS.
  - LAYOUT OF MAJOR PLANTING AREAS AS INDICATED IN THE DRAWINGS ARE APPROXIMATE ONLY. OUTLINE IN THE FIELD LOCATIONS AND IDENTITY OF ALL TREES, SHRUBS AND GROUND COVERS. SUBJECT TO REVIEW AND APPROVAL.
  - INSPECTION:** NOTIFY THE OWNER 48 HOURS PRIOR TO BEGINNING PLANTING. THE OWNER MAY ADJUST PLANT MATERIAL LOCATION TO MEET FIELD CONDITIONS.
  - DO NOT COMMENCE WITH PLANTING UNTIL OWNER HAS APPROVED THE LOCATION AND LAYOUT OF ALL PLANT BEDS.
  - IF WORK IS NOT PROMPTLY OR PROPERLY PERFORMED BY THE CONTRACTOR, THE OWNER WILL, AT THEIR DISCRETION, HAVE THE WORK PERFORMED BY OTHERS. THE COST OF THE WORK BY OTHERS WILL BE DEDUCTED FROM THE CONTRACT AMOUNT.
  - MULCH ALL SHRUBS AND GROUND COVER PLANTING BEDS WITH A 2 INCH LAYER OF IMPORTED MULCH MATERIAL WITHIN 2 DAYS AFTER PLANTING.
  - COVER ENTIRE BED AREAS, APPLY EVENLY.

- EDGING INSTALLATION**
- SHOVEL-CUT EDGING. SEPARATE MULCHED AREAS FROM TURF AREAS, CURBS, AND PAVING WITH A 45 DEGREE, 4 TO 6 INCH DEEP, SHOVEL-CUT EDGE.

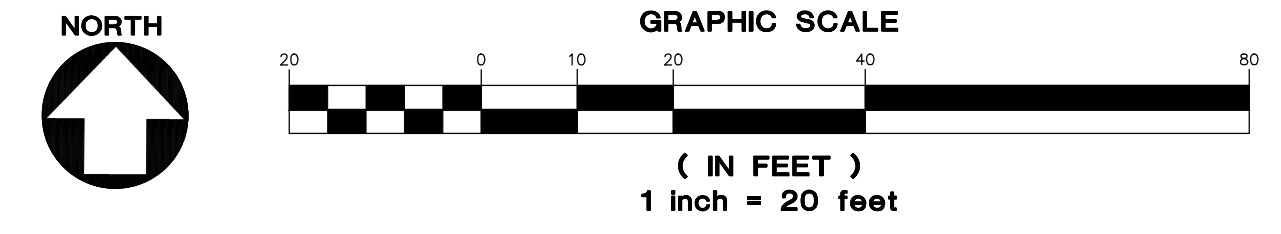
- MAINTENANCE**
- MAINTAIN LANDSCAPE PLANTINGS FROM INSTALLATION UNTIL FINAL ACCEPTANCE.
  - MAINTAIN TREES, SHRUBS, AND GROUND COVER BY TRIMMING, PRUNING, CULTIVATING, WATERING, WEEDING, FERTILIZING, RESTORING PLANTING SAUCERS, TIGHTENING AND REPAIRING STAKES AND GUY SUPPORTS, AND RESETTING TO PROPER GRADES OR VERTICAL POSITION, AS REQUIRED TO ESTABLISH HEALTHY, VIABLE PLANTINGS.
  - WATER TREES BY DEEP ROOT WATERING METHOD.

- WEEDING AND CLEANUP**
- KEEP ALL LANDSCAPE AREAS CLEAN AND WEED FREE. KEEP ALL BUILDINGS, PAVEMENTS, AND OTHER EXTERIOR IMPROVEMENTS CLEAN AND FREE OF DEBRIS.
  - WEED ALL BEDS WEEKLY.
  - APPLY A 2 INCH LAYER OF MULCH MATERIAL TO SAUCER AREAS OF TREES AND SHRUBS LOCATED OUTSIDE OF PLANTING BEDS. PLACE MULCH NO CLOSER THAN 4 INCHES FROM TRUNKS OF WOODY PLANT MATERIAL AND AWAY FROM THE CROWNS OF HERBACEOUS PLANTS.

PLANT SCHEDULE					
TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	AF	4	ACER RUBRUM 'FRANKSRED' TM	RED SUNSET MAPLE	2" CAL.
	CE	3	CARPINUS BETULUS 'JFS-KW1CB' TM	EMERALD AVENUE EUROPEAN HORNBEAM	2" CAL.
	MW	5	MACLURA POMIFERA 'WHITE SHIELD'	WHITE SHIELD OSAGE ORANGE	2" CAL.
EVERGREEN TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	CP	11	CHAMAECYPARIS NOOTKATENSIS 'PENDULA'	WEeping NOOTKA CYPRESS	6' HT.
	ML	3	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	LITTLE GEM DWARF SOUTHERN MAGNOLIA	6' HT.
	PC2	5	PINUS CEMBRA 'CHALET'	CHALET SWISS STONE PINE	6' HT.
	PF	6	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'	VANDERWOLF'S PYRAMID LIMBER PINE	6' HT.
STREET TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	FU	10	FRAXINUS PENNSYLVANICA 'URBANITE'	URBANITE GREEN ASH	2" CAL.
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	AE	16	ABELIA X GRANDIFLORA 'EDWARD GOUCHER'	GLOSSY ABELIA	3 GAL.
	BC	8	BERBERIS THUNBERGII 'MONOMB' TM	CHERRY BOMB JAPANESE BARBERRY	1 GAL.
	CD	9	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT'	BLUE MIST SHRUB	1 GAL.

	CJ	19	CEANOTHUS X 'JULIA HELPS'	CALIFORNIA LILAC	1 GAL.
	CT	29	CHOISYA TERNATA	MEXICAN ORANGE	1 GAL.
	ES	8	EUONYMUS JAPONICUS 'SILVER KING'	SILVER KING EUONYMUS	1 GAL.
	GS	22	GAULTHERIA SHALLON	SALAL	1 GAL.
	IS	21	ILEX GLABRA 'SHAMROCK'	INKBERRY	3 GAL.
	LB	14	LIRIOPE SPICATA 'BIG BLUE'	CREeping LILY TURF	1 GAL.
	LN	8	LONICERA NITIDA 'LEMON BEAUTY'	BOXLEAF HONEYSUCKLE	1 GAL.
	LP	16	LONICERA PILEATA	PRIVET HONEYSUCKLE	1 GAL.
	LN2	15	LOROPETALUM CHINENSE RUBRUM 'PIPA'S RED'	PIPA'S RED FRINGE FLOWER	1 GAL.
	MD	7	MICROBIOTA DECUSSATA	SIBERIAN CARPET CYPRESS	1 GAL.
	PA2	13	PENNISETUM ALOPECUROIDES	FOUNTAIN GRASS	1 GAL.
	PR	36	PENNISETUM ALOPECUROIDES 'RED HEAD'	RED HEAD FOUNTAIN GRASS	1 GAL.
	RR	25	ROSA X 'KNOCKOUT' TM	ROSE	1 GAL.
	SD	13	SPIRAEA DOUGLASII	WESTERN SPIREA	1 GAL.
	WS	9	WEIGELA FLORIDA 'BOKRASPIW' TM	SPILLED WINE WEIGELA	1 GAL.
	WI	4	WEIGELA FLORIDA 'MORCOLZAM'	MOR-COLOURFUL WEIGELA	1 GAL.

GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
	AR2	42	AJUGA REPTANS	CARPET BUGLE	1 GAL.	18" o.c.
	FC	73	FRAGARIA CHILOENSIS	BEACH STRAWBERRY	4" POT	24" o.c.
	MN	361	MAHONIA NERVOSA	OREGON GRAPE	1 GAL.	18" o.c.
	RG2	279	RUDBECKIA FULGIDA SULLIVANTI 'GOLDSTURM'	GOLDSTURM CONEFLOWER	1 GAL.	18" o.c.
		193	CAREX OBNUPA		6" PLUG	12" o.c.
		192	CAREX DENSA		6" PLUG	12" o.c.
		194	JUNCUS PATENS		6" PLUG	12" o.c.
		192	JUNCUS EFFUSUS		6" PLUG	12" o.c.
		8,810 SF	LAWN			



REGISTERED  
552  
Teresa Katherine Long  
OREGON  
5-14-04  
LANDSCAPE ARCHITECT

ISSUED DATE  
1 09/24/2021 DESIGN REVIEW  
2 12/02/2021 DESIGN REVIEW REVISION

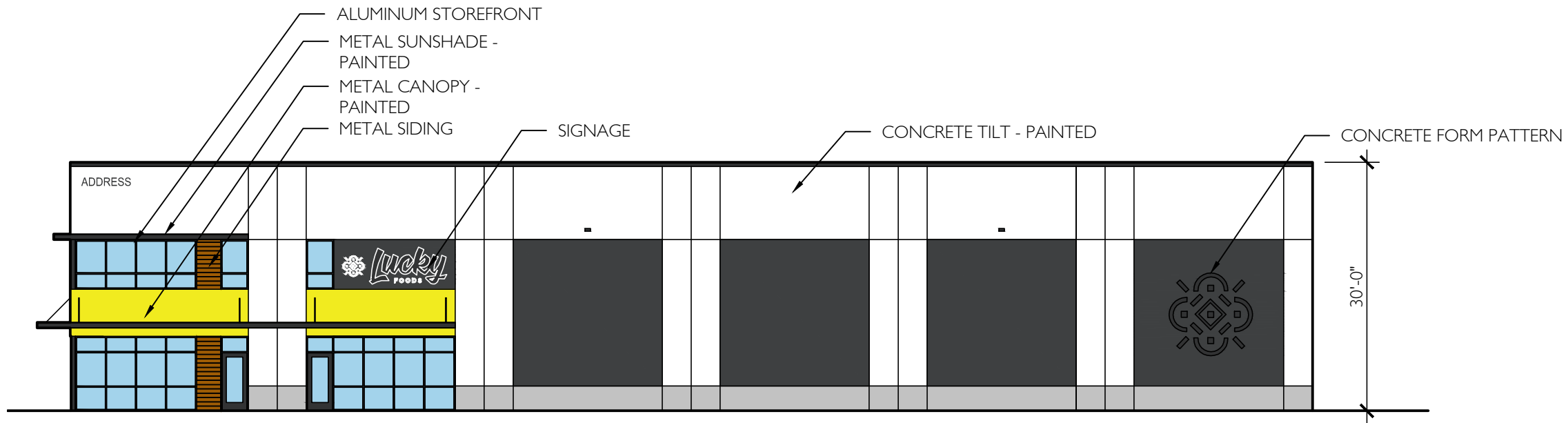
AAI  
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Project No. A21125.10

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WWW.CIDAINC.COM

NEW CONSTRUCTION FOR:  
**LUCKY FOODS**  
SEQUOIA PKWY & 4TH AVE (NO SITUS)  
CANBY, OREGON 97013

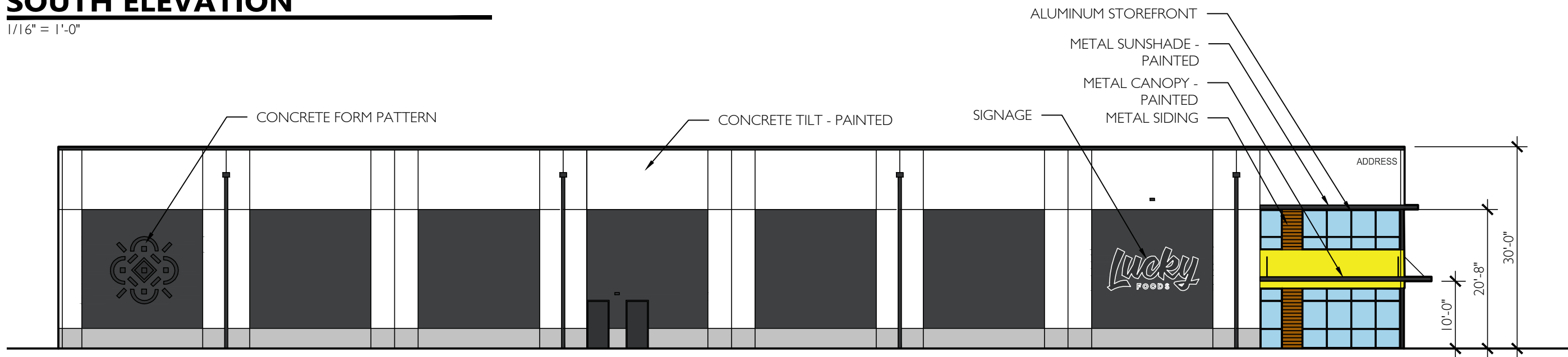
LANDSCAPE  
PLAN  
**L1.0**  
JOB NO. 210146.01





## SOUTH ELEVATION

1/16" = 1'-0"



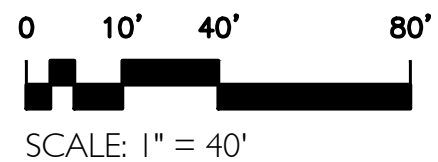
## WEST ELEVATION

1/16" = 1'-0"



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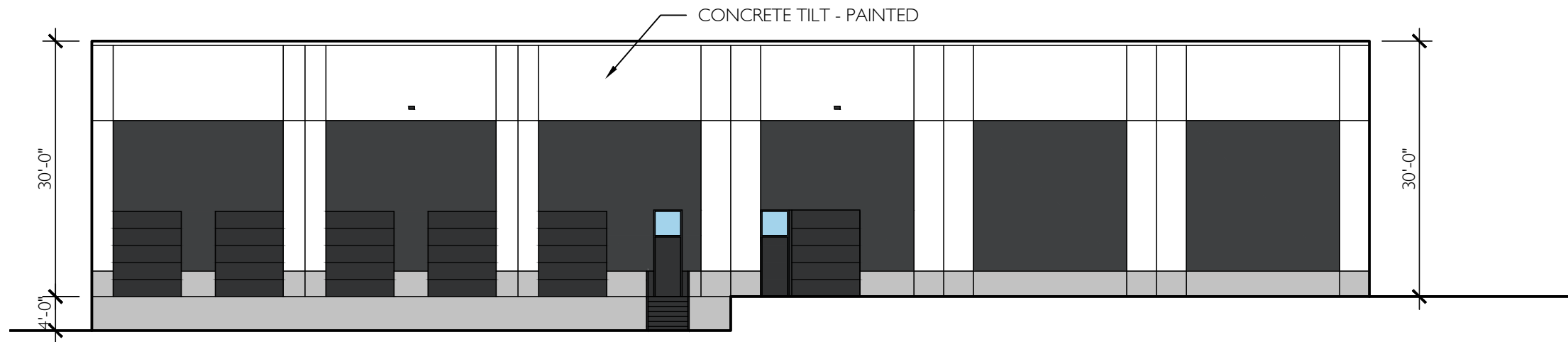


### ELEVATIONS

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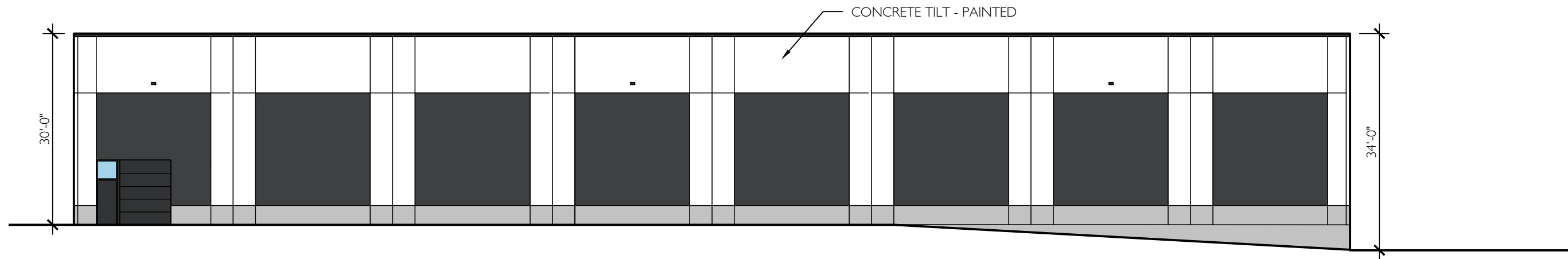
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## NORTH ELEVATION

1/16" = 1'-0"



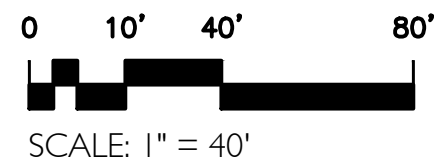
## EAST ELEVATION

1/16" = 1'-0"



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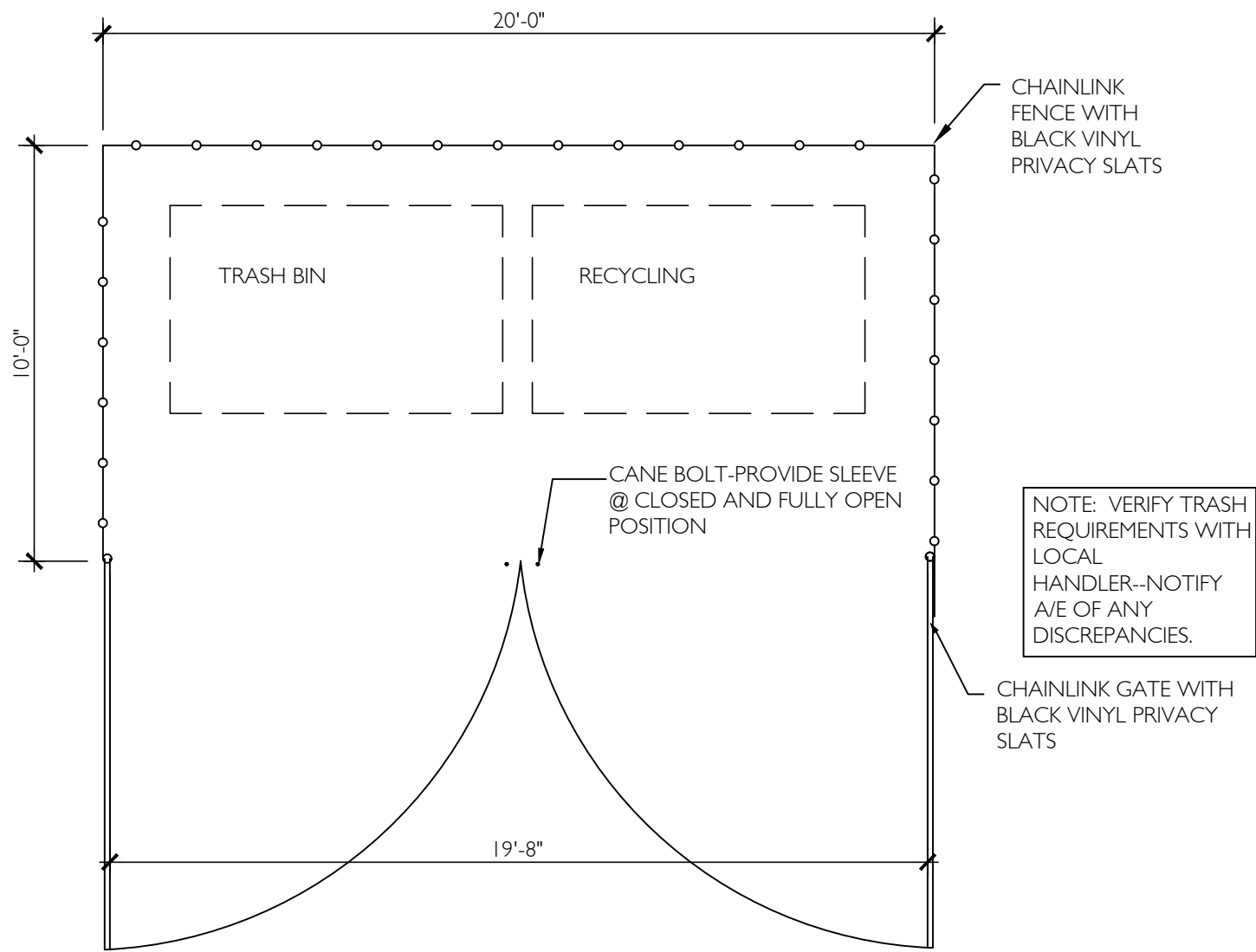
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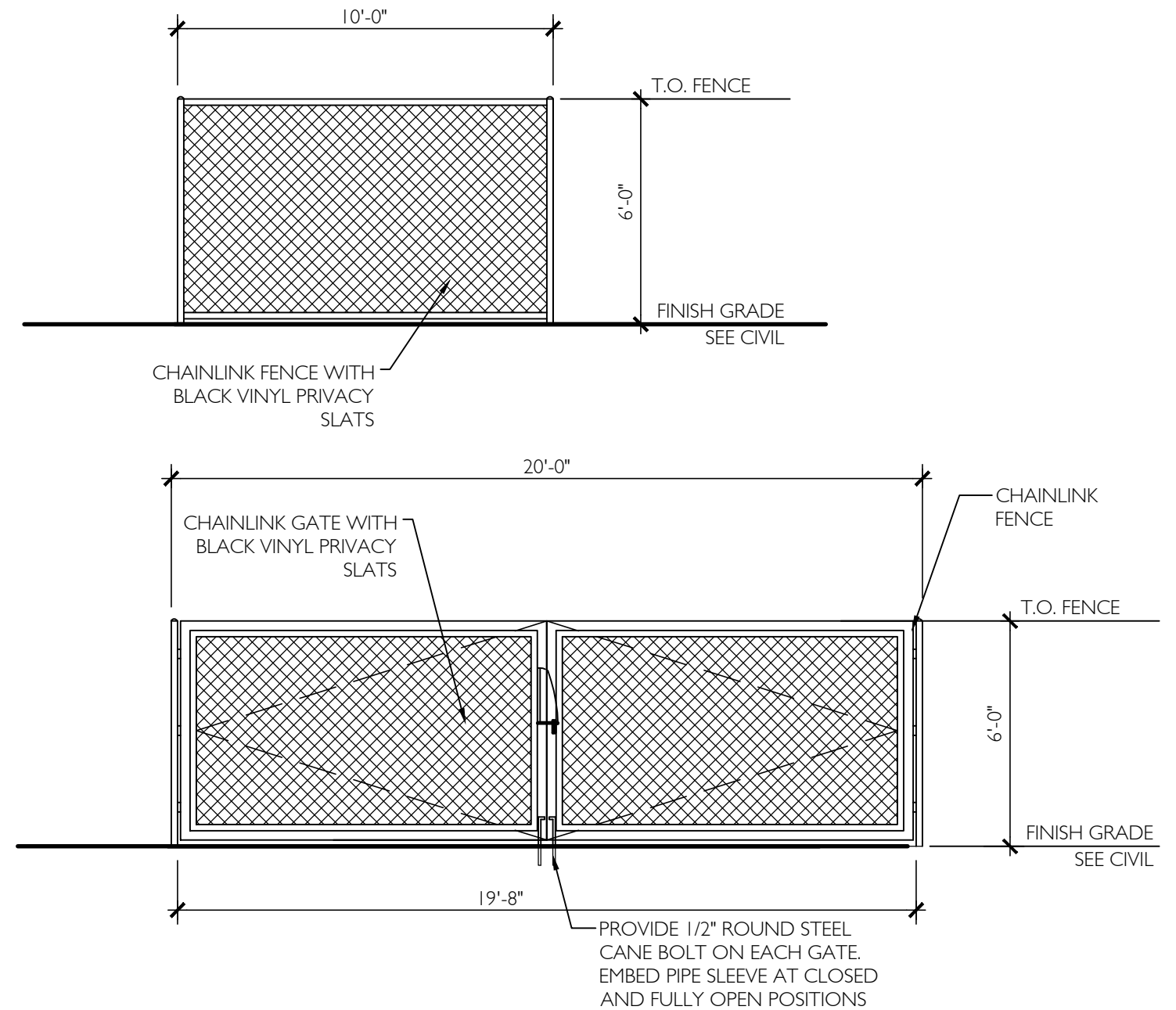
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## TRASH ENCLOSURE PLAN

1/4" = 1'-0"



## TRASH ENCLOSURE ELEVATION

1/4" = 1'-0"



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### TRASH ENCLOSURE

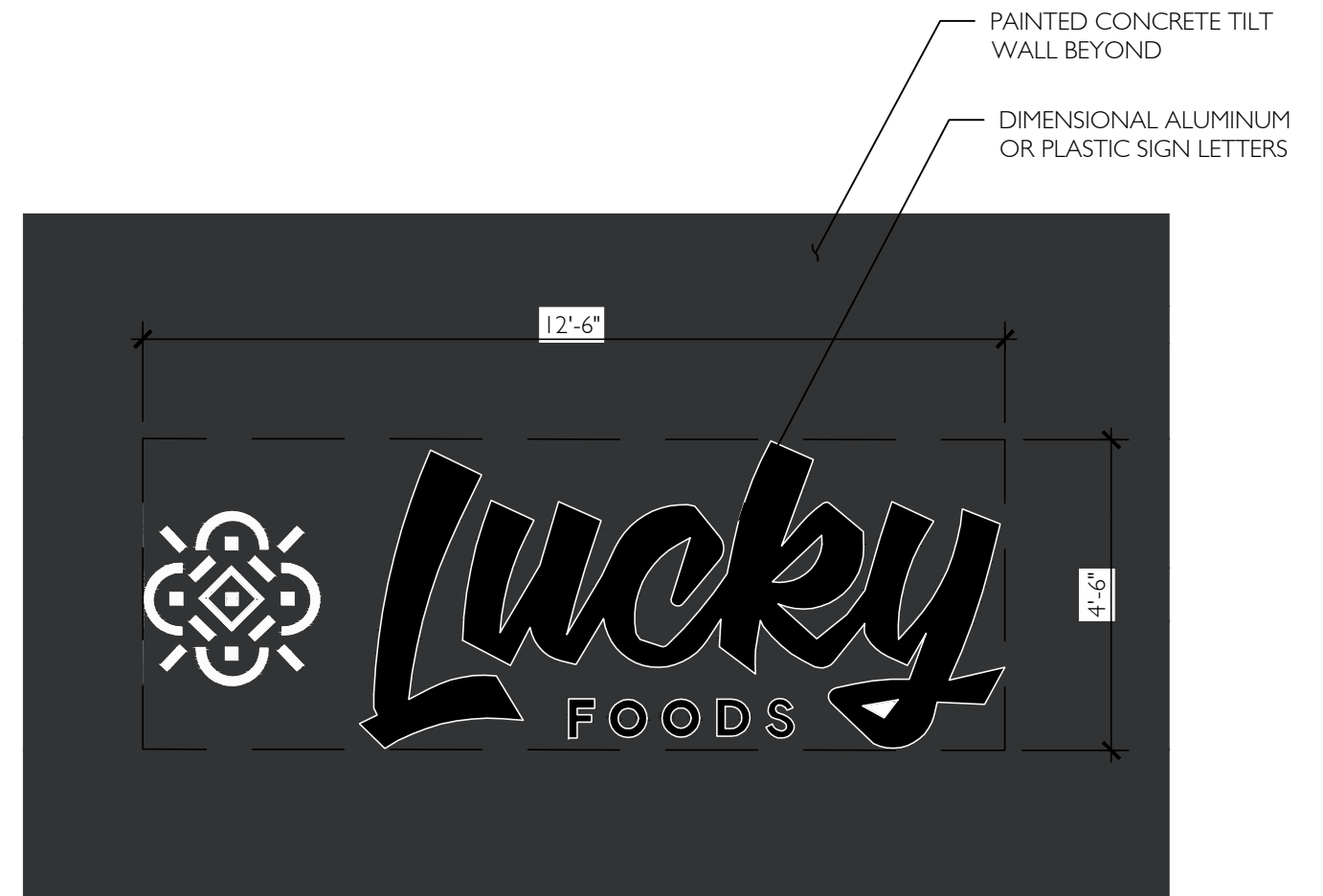
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SCALE: 1/4"=1'  
 210146.01





NOTE: MAX 190 SF ALLOWED ON  
SECONDARY FACADE - 89 SF  
PROPOSED



NOTE: MAX 300 SF ALLOWED ON  
PRIMARY FACADE - 57 SF  
PROPOSED

## BUILDING SIGNS

3/8" = 1'-0"



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## SIGNS

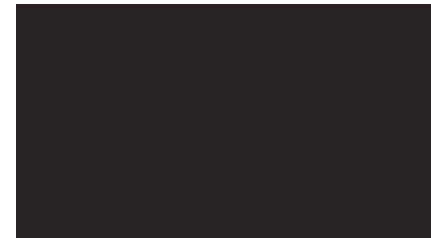
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SCALE: 3/8"=1'  
210146.01





LONGBOARD ALUMINUM SIDING  
- LIGHT CHERRY



KAWNEER ALUMINUM  
STOREFRONT  
- BLACK



VITRO GLASS  
- SOLARGRAY

PAINT



SW 6914  
**Eye Catching**  
Interior / Exterior  
Location Number: 138-C6



SW 7674  
**Peppercorn**  
Interior / Exterior  
Location Number: 236-C7



SW 7005  
**Pure White**  
Interior / Exterior  
Location Number: 255-C1



SW 7658  
**Gray Clouds**  
Interior / Exterior  
Location Number: 238-C3



**LUCKY FOODS**  
CANBY, OREGON

15895 SW 72ND AVE SUITE 200  
PORTLAND, OREGON 97224  
TEL: 503.226.1285  
FAX: 503.226.1670

**MATERIALS**

9/24/2021  
GMR

210146.01



**GENERAL NOTES**

- CONSTRUCTION LAYOUT (ALL ACTUAL LINES AND GRADES) SHALL BE STAKED BY A PROFESSIONAL SURVEYOR, REGISTERED IN THE STATE OF OREGON, BASED ON COORDINATES, DIMENSIONS, BEARINGS, AND ELEVATIONS, AS SHOWN, ON THE PLANS.
- PROJECT CONTROL SHALL BE FIELD VERIFIED AND CHECKED FOR RELATIVE HORIZONTAL POSITION PRIOR TO BEGINNING CONSTRUCTION LAYOUT.
- PROJECT CONTROL SHALL BE FIELD VERIFIED AND CHECKED FOR RELATIVE VERTICAL POSITION BASED ON THE BENCHMARK STATED HEREON, PRIOR TO BEGINNING CONSTRUCTION LAYOUT.
- WHEN DIMENSIONS AND COORDINATE LOCATIONS ARE REPRESENTED - DIMENSIONS SHALL HOLD OVER COORDINATE LOCATION. NOTIFY THE CIVIL ENGINEER OF RECORD IMMEDIATELY UPON DISCOVERY.
- BUILDING SETBACK DIMENSIONS FROM PROPERTY LINES SHALL HOLD OVER ALL OTHER CALLOUTS. PROPERTY LINES AND ASSOCIATED BUILDING SETBACKS SHALL BE VERIFIED PRIOR TO CONSTRUCTION LAYOUT.
- CONTRACTOR SHALL PRESERVE AND PROTECT FROM DAMAGE ALL EXISTING MONUMENTATION DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND PAYING FOR THE REPLACEMENT OF ANY MONUMENTS DAMAGED OR REMOVED DURING CONSTRUCTION. NEW MONUMENTS SHALL BE REESTABLISHED BY A LICENSED SURVEYOR.
- ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THESE PLANS, THE PROJECT SPECIFICATIONS AND THE APPLICABLE REQUIREMENTS OF THE 2018 OREGON STANDARD SPECIFICATIONS FOR CONSTRUCTION, THE 2017 OREGON PLUMBING SPECIALTY CODE AND LOCAL JURISDICTION REQUIREMENTS.
- THE COMPLETED INSTALLATION SHALL CONFORM TO ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES, ORDINANCES AND REGULATIONS. ALL PERMITS, LICENSES AND INSPECTIONS REQUIRED BY THE GOVERNING AUTHORITIES FOR THE EXECUTION AND COMPLETION OF WORK SHALL BE SECURED BY THE CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION.
- ATTENTION: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER. (NOTE: THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS (503) 232-1987). EXCAVATORS MUST NOTIFY ALL PERTINENT COMPANIES OR AGENCIES WITH UNDERGROUND UTILITIES IN THE PROJECT AREA AT LEAST 48 BUSINESS-DAY HOURS, BUT NOT MORE THAN 10 BUSINESS DAYS PRIOR TO COMMENCING AN EXCAVATION, SO UTILITIES MAY BE ACCURATELY LOCATED.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ON THE PLANS ARE FOR INFORMATION ONLY AND ARE NOT GUARANTEED TO BE COMPLETE OR ACCURATE. CONTRACTOR SHALL VERIFY ELEVATIONS, PIPE SIZE, AND MATERIAL TYPES OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WITH CONSTRUCTION AND SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF AAI ENGINEERING, 72 HOURS PRIOR TO START OF CONSTRUCTION TO PREVENT GRADE AND ALIGNMENT CONFLICTS.
- THE ENGINEER OR OWNER IS NOT RESPONSIBLE FOR THE SAFETY OF THE CONTRACTOR OR HIS CREW. ALL O.S.H.A. REGULATIONS SHALL BE STRICTLY ADHERED TO IN THE PERFORMANCE OF THE WORK.
- TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE IMPLEMENTED. THE ESC FACILITIES SHOWN IN THESE PLANS ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT LEAVE THE SITE.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ROADWAYS, KEEPING THEM CLEAN AND FREE OF CONSTRUCTION MATERIALS AND DEBRIS, AND PROVIDING DUST CONTROL AS REQUIRED.
- TRAFFIC CONTROL SHALL BE PROVIDED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION. CONTRACTOR SHALL PROVIDE A TRAFFIC CONTROL PLAN TO LOCAL JURISDICTION FOR REVIEW AND APPROVAL PRIOR TO COMMENCING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND SCHEDULING ALL WORK WITH THE OWNER.
- THE CONTRACTOR SHALL HAVE A FULL SET OF THE CURRENT APPROVED CONSTRUCTION DOCUMENTS INCLUDING ADDENDA ON THE PROJECT SITE AT ALL TIMES.
- THE CONTRACTOR SHALL KEEP THE ENGINEER AND JURISDICTION INFORMED OF CONSTRUCTION PROGRESS TO FACILITATE SITE OBSERVATIONS AT REQUIRED INTERVALS. 24-HOUR NOTICE IS REQUIRED.
- EXISTING SURVEY MONUMENTS ARE TO BE PROTECTED DURING CONSTRUCTION OR REPLACED IN ACCORDANCE WITH OREGON REVISED STATUTES 209.140 - 209.155.

**NOTICE TO EXCAVATORS:** ATTENTION: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER. (NOTE: THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS (503)-232-1987).

POTENTIAL UNDERGROUND FACILITY OWNERS



CALL THE OREGON ONE-CALL CENTER  
1-800-332-2344

EMERGENCY TELEPHONE NUMBERS

NW NATURAL GAS  
M-F 7am-5pm 503-226-4211 EXT.4313  
AFTER HOURS 503-226-4211

PGE 503-464-7777  
QWEST 1-800-573-1311  
VERIZON 1-800-483-1000



Know what's below.  
Call before you dig.

**CONSTRUCTION NOTES**

**DEMOLITION**

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION AND DISPOSAL OF EXISTING AC, CURBS, SIDEWALKS AND OTHER SITE ELEMENTS WITHIN THE SITE AREA IDENTIFIED IN THE PLANS.
- EXCEPT FOR MATERIALS INDICATED TO BE STOCKPILED OR TO REMAIN ON OWNER'S PROPERTY, CLEARED MATERIALS SHALL BECOME CONTRACTOR'S PROPERTY, REMOVED FROM THE SITE, AND DISPOSED OF PROPERLY.
- ITEMS INDICATED TO BE SALVAGED SHALL BE CAREFULLY REMOVED AND DELIVERED STORED AT THE PROJECT SITE AS DIRECTED BY THE OWNER.
- ALL LANDSCAPING, PAVEMENT, CURBS AND SIDEWALKS, BEYOND THE IDENTIFIED SITE AREA, DAMAGED DURING THE CONSTRUCTION SHALL BE REPLACED TO THEIR ORIGINAL CONDITION OR BETTER.
- CONCRETE SIDEWALKS SHOWN FOR DEMOLITION SHALL BE REMOVED TO THE NEAREST EXISTING CONSTRUCTION JOINT.
- SAWCUT STRAIGHT MATCHLINES TO CREATE A BUTT JOINT BETWEEN THE EXISTING AND NEW PAVEMENT.

**UTILITIES**

- ADJUST ALL INCIDENTAL STRUCTURES, MANHOLES, VALVE BOXES, CATCH BASINS, FRAMES AND COVERS, ETC. TO FINISHED GRADE.
- CONTRACTOR SHALL ADJUST ALL EXISTING AND/OR NEW FLEXIBLE UTILITIES (WATER, TV, TELEPHONE, ELEC., ETC.) TO CLEAR ANY EXISTING OR NEW GRAVITY DRAIN UTILITIES (STORM DRAIN, SANITARY SEWER, ETC.) IF CONFLICT OCCURS.
- CONTRACTOR SHALL COORDINATE WITH PRIVATE UTILITY COMPANIES FOR THE INSTALLATION OF OR ADJUSTMENT TO GAS, ELECTRICAL, POWER AND TELEPHONE SERVICE.
- BEFORE BACKFILLING ANY SUBGRADE UTILITY IMPROVEMENTS CONTRACTOR SHALL SURVEY AND RECORD MEASUREMENTS OF EXACT LOCATION AND DEPTH AND SUBMIT TO ENGINEER AND OWNER.

**STORM AND SANITARY**

- CONNECTIONS TO EXISTING STORM AND SANITARY SEWERS SHALL CONFORM TO THE 2021 OREGON STANDARD SPECIFICATIONS FOR CONSTRUCTION, SECTION 00490, "WORK ON EXISTING SEWERS AND STRUCTURES".
- BEGIN LAYING STORM DRAIN AND SANITARY SEWER PIPE AT THE LOW POINT OF THE SYSTEM, TRUE TO GRADE AND ALIGNMENT INDICATED WITH UNBROKEN CONTINUITY OF INVERT. THE CONTRACTOR SHALL ESTABLISH LINE AND GRADE FOR THE STORM AND SANITARY SEWER PIPE USING A LASER.
- ALL ROOF DRAIN AND CATCH BASIN LEADERS SHALL HAVE A MINIMUM SLOPE OF 1 PERCENT UNLESS NOTED OTHERWISE IN THE PLANS.
- ALL STORM AND SANITARY FITTINGS TO BE ECCENTRIC FITTINGS UNLESS OTHERWISE NOTED.

**WATER**

- ALL WATER AND FIRE PROTECTION PIPE SHALL HAVE A MINIMUM 36-INCH COVER TO THE FINISH GRADE.
- ALL WATER AND FIRE PRESSURE FITTINGS SHALL BE PROPERLY RESTRAINED WITH THRUST BLOCKS PER DETAIL.
- ALL WATER MAIN / SANITARY SEWER CROSSINGS SHALL CONFORM TO THE OREGON STATE HEALTH DEPARTMENT REGULATIONS, CHAPTER 333.

**EARTHWORKS**

- CONTRACTOR SHALL PREVENT SEDIMENTS AND SEDIMENT LADEN WATER FROM ENTERING THE STORM DRAINAGE SYSTEM.
- TRENCH BEDDING AND BACKFILL SHALL BE AS SHOWN ON THE PIPE BEDDING AND BACKFILL DETAIL, THE PROJECT SPECIFICATIONS AND AS REQUIRED IN THE SOILS REPORT. FLOODING OR JETTING THE BACKFILLED TRENCHES WITH WATER WILL NOT BE PERMITTED.
- SUBGRADE AND TRENCH BACKFILL SHALL BE COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-698. FLOODING OR JETTING THE BACKFILLED TRENCHES WITH WATER IS NOT PERMITTED.

**PAVING**

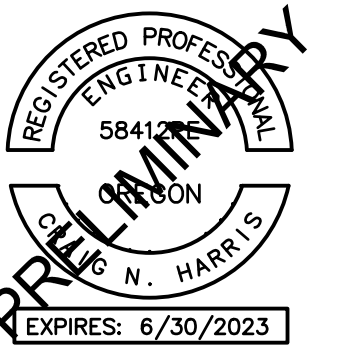
- SEE ARCHITECTURAL PLANS FOR SIDEWALK FINISHING AND SCORING PATTERNS.

**MATERIAL NOTES**

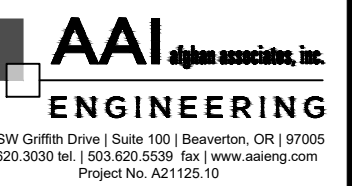
- GENERAL: MATERIALS SHALL BE NEW. THE USE OF MANUFACTURER'S NAMES, MODELS, AND NUMBERS IS INTENDED TO ESTABLISH STYLE, QUALITY, APPEARANCE, AND USEFULNESS. PROPOSED SUBSTITUTIONS WILL REQUIRE WRITTEN APPROVAL FROM ENGINEER PRIOR TO INSTALLATION.
- STORM AND SANITARY SEWER PIPING SHALL BE PVC PIPE AS INDICATED IN THE PLANS. PIPES WITH LESS THAN 2" OF COVER SHALL BE C900/C905 PVC, HDPE OR DUCTILE IRON PIPE.
- PRIVATE WATER MAINS 4-INCH DIAMETER AND LARGER SHALL BE DUCTILE IRON PIPE SCH 52 OR C900; AS INDICATED IN THE PLANS.
- PRIVATE WATER LINES 3-INCH DIAMETER AND SMALLER SHALL BE TYPE K COPPER OR PVC; AS INDICATED IN THE PLANS.
- CONCRETE FOR CURBS, SIDEWALK AND DRIVEWAYS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,500 PSI AT 28 DAYS.

**SEPARATION STATEMENT**

ALL WATER MAIN CROSSINGS SHALL CONFORM TO THE OREGON STATE HEALTH DEPARTMENT, CHAPTER 333. WATER MAINS SHALL CROSS OVER SANITARY SEWERS WITH A 18" MINIMUM CLEARANCE BETWEEN OUTSIDE DIAMETERS OF PIPE WITH ALL PIPE JOINTS EQUIDISTANT FROM CROSSING. HORIZONTAL SEPARATION BETWEEN WATER MAINS AND SANITARY SEWERS IN PARALLEL INSTALLATIONS SHALL BE 10". MAINTAIN 12" MINIMUM VERTICAL DISTANCE FOR ALL OTHER UTILITY CROSSINGS AND 12" HORIZONTAL PARALLEL DISTANCE. IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN THE MINIMUM 10" HORIZONTAL SEPARATION, THE WATER MAIN SHALL BE LAID ON A SEPARATE SHELF IN THE TRENCH 18" INCHES ABOVE THE SEWER.



ISSUED DATE  
1 09/24/2021 DESIGN REVIEW  
2 12/02/2021 DESIGN REVIEW REVISION



4875 SW Guthrie Drive, Suite 100 | Beaverton, OR | 97005  
503.620.3030 | www.aai-engineering.com  
Project No. A21125.10



15895 SW 72ND AVE SUITE 200  
PORTLAND, OREGON 97224  
TEL: 503.228.1288  
FAX: 503.228.1870  
WWW.CIDAINC.COM

NEW CONSTRUCTION FOR:  
**LUCKY FOODS**

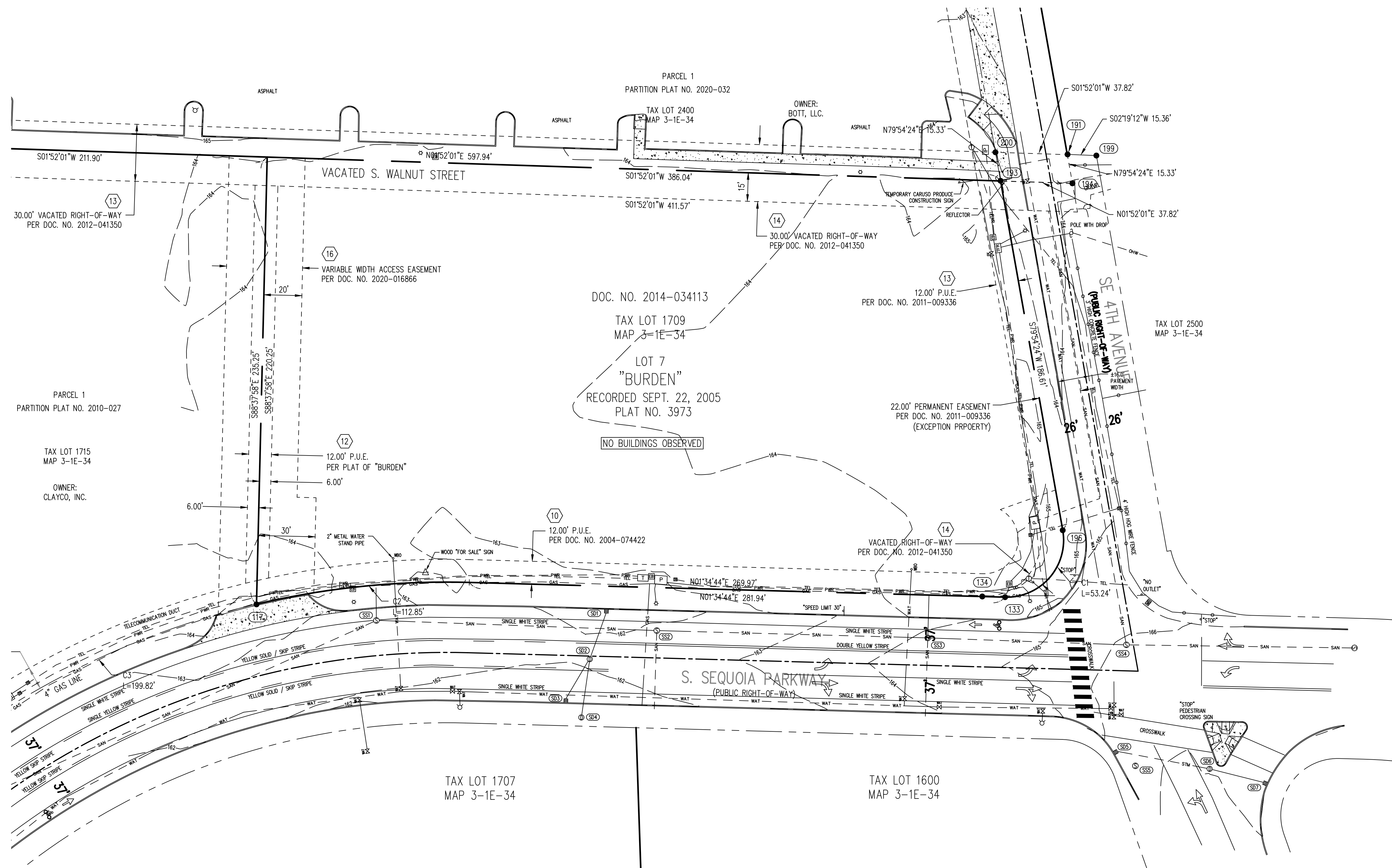
SEQUOIA PKWY & 4TH AVE (NO SITUS)  
CANY, OREGON 97013

GENERAL NOTES

**C0.1**

JOB NO. 210146.01





**LEGEND**

- FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION
- WATER BLOWOFF
- WATER VALVE
- SANITARY SEWER MANHOLE
- STORM SEWER CATCH BASIN
- STORM SEWER MANHOLE
- GAS VALVE
- UTILITY POLE
- POWER VAULT
- POWER JUNCTION BOX
- POWER TRANSFORMER
- STREET LIGHT
- TELEPHONE/TELEVISION VAULT
- TELEPHONE/TELEVISION MANHOLE
- SIGN
- MAILBOX
- FOUND SURVEY MONUMENT

RIGHT-OF-WAY LINE  
 BOUNDARY LINE  
 PROPERTY LINE  
 CENTERLINE  
 CURB  
 EDGE OF PAVEMENT  
 EASEMENT  
 FENCE LINE  
 GRAVEL EDGE  
 POWER LINE  
 OVERHEAD WIRE  
 TELEPHONE LINE  
 GAS LINE  
 STORM SEWER LINE  
 SANITARY SEWER LINE  
 WATER LINE

ISSUED DATE  
 1 09/24/2021 DESIGN REVIEW  
 2 12/02/2021 DESIGN REVIEW

**AAI ENGINEERING**  
 4875 SW Guilford Drive, Suite 100 | Beaverton, OR 97005  
 503.620.3000 | 503.620.0500 | www.aaieng.com  
 Project No. A21125.10

**CIDA**  
 ARCHITECTURE  
 ENGINEERING  
 PLANNING  
 INTERIORS  
 15895 SW 72ND AVE SUITE 200  
 PORTLAND, OREGON 97224  
 TEL: 503.228.1288  
 FAX: 503.228.1870  
 WWW.CIDAINC.COM

NEW CONSTRUCTION FOR:  
**LUCKY FOODS**  
 SEQUOIA PKWY & 4TH AVE (NO SITUS)  
 CANBY, OREGON 97013

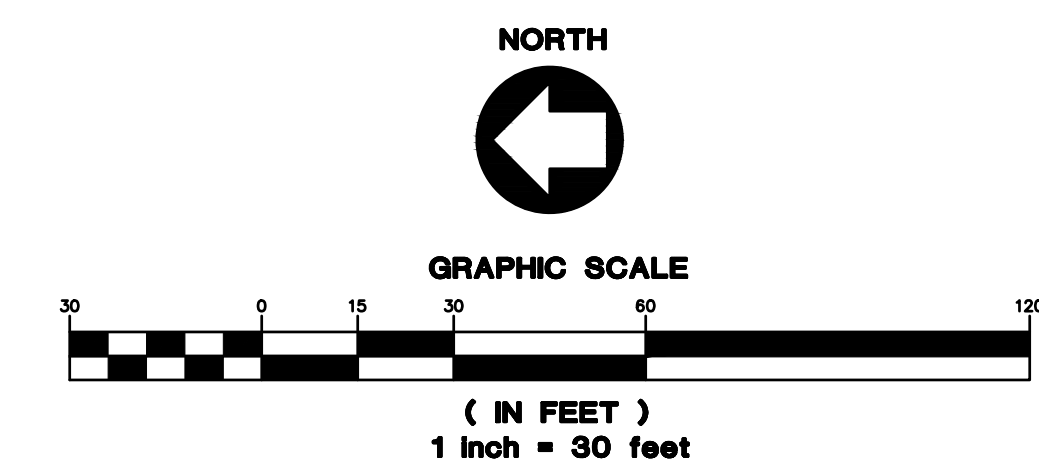
**SURVEYOR'S CERTIFICATION**  
 TO ROBERT EVANS COMPANY, INC. AND OLD REPUBLIC TITLE INSURANCE COMPANY OF OREGON:  
 THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2-5, 8, 11(b), 13, AND 16 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON MAY 26, 2021.

**PRELIMINARY**  
 CLINTON H. STUBBS JR.  
 OREGON P.L.S. NO. 55469  
 DATE OF PLAT OR MAP:

**PROPERTY DESCRIPTION**  
 LOT 7, BURDEN, IN THE CITY OF CANBY, COUNTY OF CLACKAMAS AND STATE OF OREGON.  
 EXCEPTING THEREFROM THAT PORTION OF PROPERTY DESCRIBED IN GRANT OF PERMANENT EASEMENT RECORDED FEBRUARY 2, 2011 AS DOCUMENT NO. 2011-009336.  
 TOGETHER WITH THAT PORTION OF VACATED S. WALNUT STREET AND A VACATED AREA AT THE NORTHEAST CORNER OF SEQUOIA PARKWAY AND SE 4TH AVENUE THAT INURED THERETO BY ORDINANCE NO. 1351, RECORDED JUNE 29, 2012 AS FEE NO. 2012-041350.

**NOTES**

- THE SURVEYED PROPERTY HAS NO ADDRESS AT THE TIME OF THIS SURVEY. IT IS IDENTIFIED AS TAX LOT 1709 ON CLACKAMAS COUNTY ASSESSOR MAP 3-1E-34.
- THE GROSS PROPERTY AREA IS 2.06 ACRES, MORE OR LESS.
- THE PROPERTY HAS FRONTAGE ON THE PUBLIC RIGHTS-OF-WAY OF S. SEQUOIA PARKWAY AND SE 4TH AVENUE. IT HAS VEHICULAR ACCESS TO S. SEQUOIA PARKWAY WHERE NOTED AND NO EXISTING VEHICULAR ACCESS TO SE 4TH AVENUE.
- THE PROPERTY IS LOCATED ON THE FLOOD INSURANCE RATE MAP FOR CANBY, OREGON WITH A MAP NUMBER 41005C02680 HAVING AN EFFECTIVE DATE OF JUNE 17, 2008. THIS MAP SHOWS THAT THE PROPERTY IS LOCATED IN UNSHADED ZONE 'X', DEFINED AS: "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN."
- THE UNDERGROUND UTILITIES ARE BASED ON THE MARKINGS PER LOCATE TICKETS NUMBER 21128336 AND 21141202.
- ELEVATIONS ARE GPS DERIVED ON THE NAVD 1988 VERTICAL DATUM.
- THERE WAS NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.



**CURVE TABLE**

CURVE	LENGTH	RADIUS	DELTA	CHORD
C1	53.24'	30.00'	101°40'20"	N49°15'26"W 46.52' (53.23')4 (30.00')4 (101°39'22")4 (N49°45'17"W 46.51')4
C2	112.85'	437.00'	14°47'47"	N05°49'09"W 112.54' (112.77')1 (437.00')1 (14°47'07")1 (N07°18'41"W 112.46')1
C3	199.82'	437.00'	26°11'56"	N26°19'01"W 198.09' (199.78')2 (437.00')2 (26°11'37")2 (N27°47'56"W 198.05')2

**UTILITY STATEMENT**  
 THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

**SANITARY SEWER INFORMATION**

SS1 MANHOLE  
 RIM = 162.74'  
 8" I.E. IN (S) = 154.8'  
 12" I.E. IN (E) = 154.7'  
 12" I.E. OUT (NW) = 155.7'

SS2 MANHOLE  
 RIM = 162.14'  
 8" I.E. IN (W) = 155.2'  
 12" I.E. IN (S) = 155.1'  
 12" I.E. OUT (N) = 155.0'

SS3 MANHOLE  
 RIM = 164.22'  
 8" I.E. IN (E) = 155.9'  
 8" I.E. IN (W) = 155.8'  
 12" I.E. IN (S) = 155.7'  
 12" I.E. OUT (N) = 155.6'

SS4 SANITARY MANHOLE  
 RIM = 166.18'  
 12" IN (S) = 155.9'  
 12" IN (NE) = 155.8'  
 12" OUT (N) = 155.7'

SS5 SANITARY MANHOLE  
 RIM = 166.66'  
 NOT MEASURED

**STORM SEWER INFORMATION**

SD1 CATCH BASIN  
 RIM = 161.44'  
 10" I.E. OUT (W) = 158.4'

SD2 MANHOLE - DRY WELL  
 RIM = 162.22'  
 10" I.E. IN (E) = 158.2'  
 10" I.E. IN (W) = 158.2'  
 10" I.E. OVERFLOW (E) = 158.1'  
 10" I.E. OVERFLOW (W) = 158.0'  
 SUMP = 152.0'

SD3 CATCH BASIN  
 RIM = 161.14'  
 10" I.E. OUT (E) = 158.2'

SD4 MANHOLE - DRY WELL  
 RIM = 162.02'  
 10" I.E. IN (E) = 152.0'  
 SUMP = 143.8'

SD5 CATCH BASIN  
 RIM = 166.18'  
 10" I.E. OUT (S) = 163.0'

SD6 MANHOLE - DRY WELL  
 RIM = 166.94'  
 10" I.E. IN (N) = 162.7'  
 10" I.E. IN (S) = 162.6'

SD7 CATCH BASIN  
 RIM = 166.29'  
 10" I.E. OUT (N) = 164.1'

**BASIS OF BEARINGS**  
 OREGON STATE PLANE COORDINATE SYSTEM (NORTH ZONE) NAD 83/91.

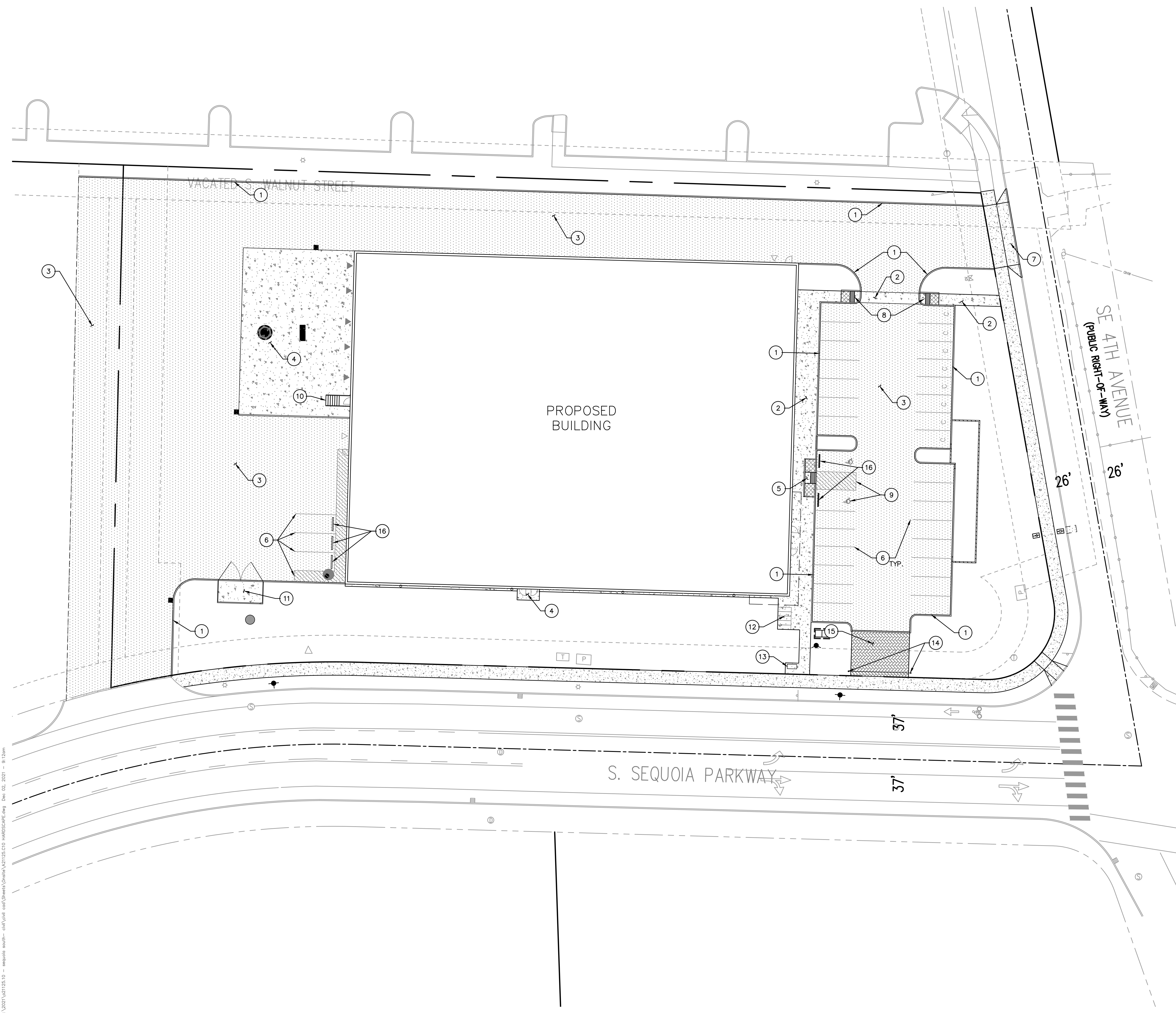
**BOUNDARY RESOLUTION**  
 THE EAST PROPERTY LINE WAS ESTABLISHED BY HOLDING THE MONUMENTS AT (194) AND (195). THE NORTHEAST PROPERTY CORNER WAS ESTABLISHED AT THE RECORD DISTANCE FROM (194) AS SHOWN ON CLACKAMAS COUNTY SURVEY NUMBER 2012-027. THE NORTHEAST CORNER WAS HELD TOGETHER WITH THE MONUMENT AT (117) TO ESTABLISH THE NORTH PROPERTY LINE. THE CURVED PORTION OF THE RIGHT-OF-WAY FOR S. SEQUOIA PARKWAY WAS ESTABLISHED HOLDING MONUMENTS (117) AND (121) WITH RECORD RADIUS INFORMATION PER PARTITION PLAT NO. 2010-027. THE MONUMENTS AT (133) AND (134) WERE HELD TOGETHER WITH A LINE THAT WAS TANGENT WITH THE CURVE TO ESTABLISH THE REMAINDER OF THE EASTERLY RIGHT-OF-WAY LINE. THE NORTHERLY RIGHT-OF-WAY OF SE 4TH AVENUE WAS ESTABLISHED BY HOLDING MONUMENTS (196) AND (200). A TANGENT CURVE WITH THE RECORD RADIUS FROM THE RIGHT-OF-WAY VACATION WAS HELD BETWEEN THE NORTHERLY AND EASTERLY RIGHT-OF-WAY LINES.

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**SHEET NOTES**

1. SEE SHEET C0.1 FOR GENERAL SHEET NOTES.
2. SEE ARCHITECTURAL PLANS FOR ADDITIONAL SITE INFORMATION.
3. THE CONTRACTOR SHALL HAVE A FULL SET OF THE CURRENT APPROVED CONSTRUCTION DOCUMENTS INCLUDING ADDENDA ON THE PROJECT SITE AT ALL TIMES.
4. THE CONTRACTOR SHALL KEEP THE ENGINEER AND JURISDICTION INFORMED OF CONSTRUCTION PROGRESS TO FACILITATE SITE OBSERVATIONS AT REQUIRED INTERVALS. 24-HOUR NOTICE IS REQUIRED.

**(X) CONSTRUCTION NOTES**

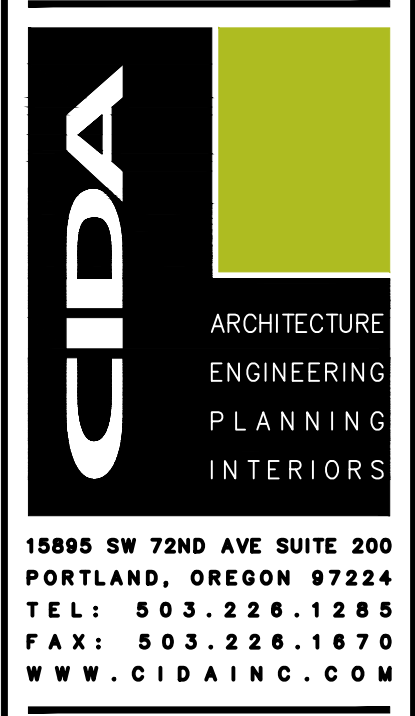
- 1 INSTALL CURB PER DETAIL 1/C4.0
- 2 INSTALL SIDEWALK PER DETAIL 2/C4.0
- 3 INSTALL ASPHALT SURFACE PER DETAIL 3/C4.0
- 4 INSTALL CONCRETE SURFACE PER DETAIL 4/C4.0
- 5 INSTALL ADA RAMP TYPE 1 PER DETAIL 6/C4.0
- 6 INSTALL STRIPING, SEE ARCHITECTURAL PLANS FOR DETAILS
- 7 INSTALL DRIVEWAY PER DETAIL 104/C4.2
- 8 INSTALL ADA RAMP TYPE 2 PER DETAIL 7/C4.0
- 9 INSTALL ADA STRIPING PER DETAIL 5/C4.0
- 10 INSTALL STAIRS, DESIGN BY OTHERS
- 11 INSTALL TRASH ENCLOSURE, DESIGN BY OTHERS
- 12 INSTALL BIKE RACK, DESIGN BY OTHERS
- 13 INSTALL BENCH, DESIGN BY OTHERS
- 14 INSTALL BOLLARD PER DETAIL 8/C4.0
- 15 INSTALL GRASSCRETE, DESIGN BY OTHERS
- 16 INSTALL WHEELSTOP PER DETAIL 10/C4.0

**LEGEND**

PROPERTY LINE	
CONCRETE SIDEWALK SURFACING	
ASPHALT SURFACING	
GRASSCRETE	



ISSUED DATE  
 1 09/24/2021 DESIGN REVIEW  
 2 12/02/2021 DESIGN REVIEW REVISION



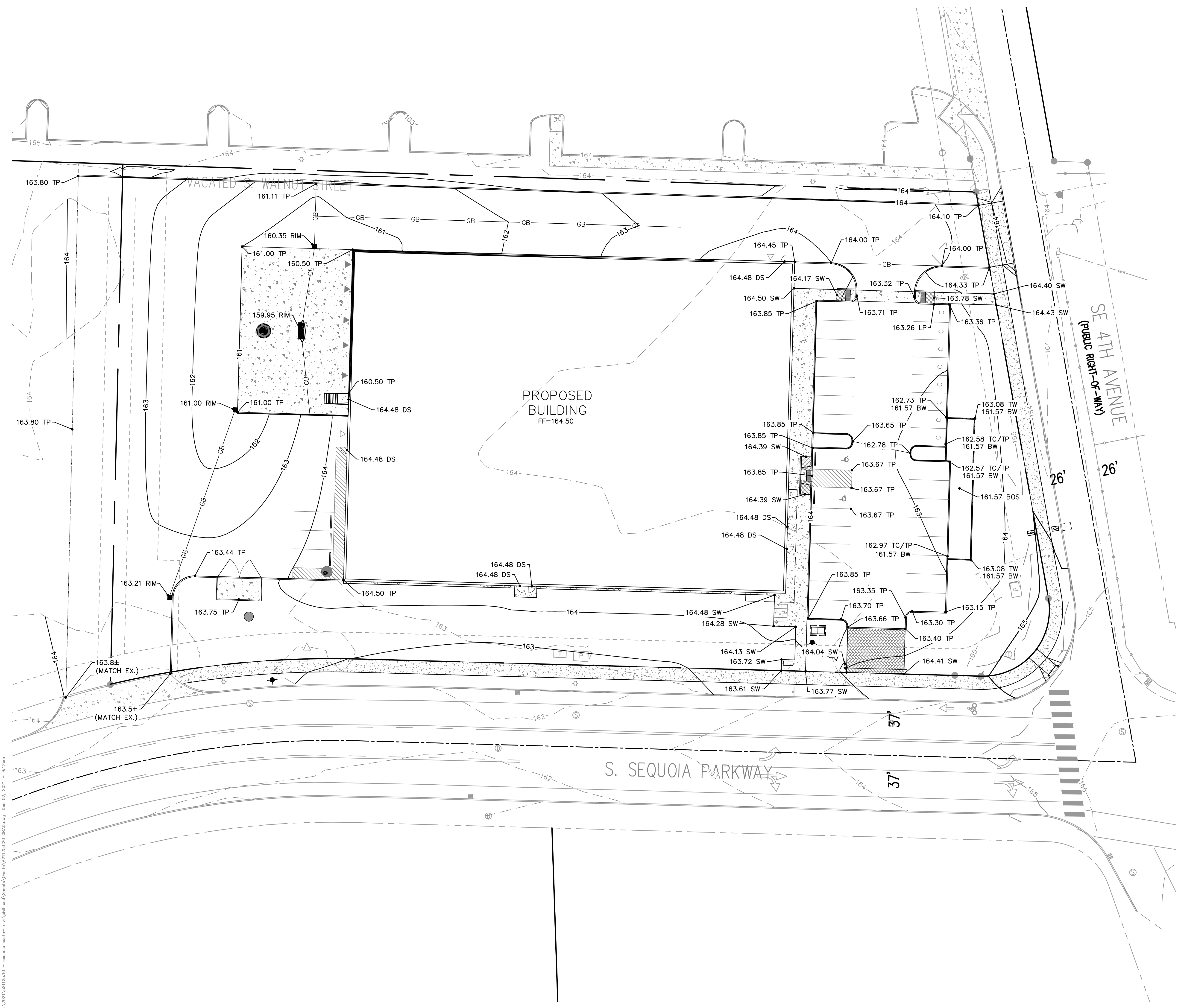
NEW CONSTRUCTION FOR:  
**LUCKY FOODS**  
 SEQUOIA PKWY & 4TH AVE (NO SITUS)  
 CANBY, OREGON 97013

**HARDSCAPE PLAN**  
**C1.0**  
 JOB NO. 210146.01  
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12/02/2021 – DESIGN REVIEW

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**SHEET NOTES**

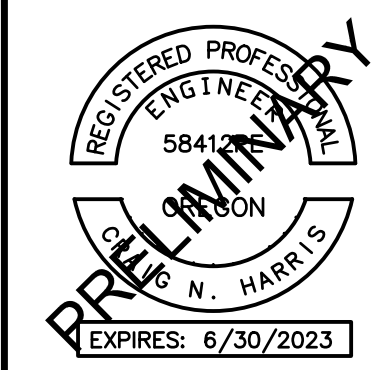
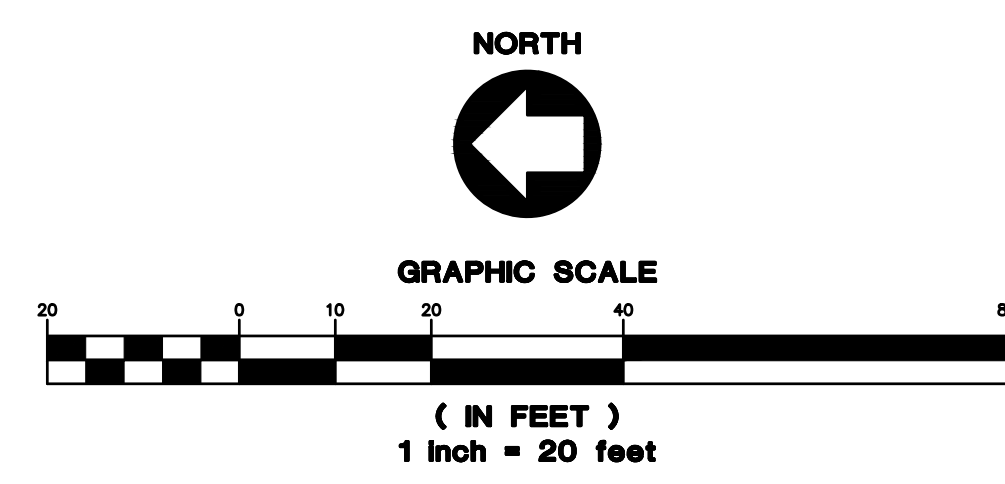
- SEE SHEET C0.1 FOR GENERAL SHEET NOTES.
- CURB HEIGHTS ARE 6" UNLESS NOTED OTHERWISE.
- LANDINGS ON ACCESSIBLE ROUTES SHALL NOT EXCEED 2% IN ANY DIRECTION.
- ALL ACCESSIBLE ROUTES SHALL COMPLY WITH CURRENT ADA ACCESSIBILITY GUIDELINES FOR BUILDING AND FACILITIES (ADAAG).
- ALL WALKWAYS FROM ACCESSIBLE UNITS ARE DESIGNED TO NOT REQUIRE HANDRAILS. THEREFORE, RAMPS WITH SLOPES STEEPER THAN 5.0% AND LESS THAN 8.33% SHALL NOT EXCEED 0.5' RISE OR 6.0' LENGTH.
- FINISH GRADES ARE TO BE BROUGHT TO WITHIN 0.08 FT IN 10 FT OF THE GRADES SHOWN AT SUBGRADE AND TO WITHIN 0.03 FT IN 10 FT AT FINISH GRADE. CONTRACTOR TO ALLOW FOR PLACEMENT OF REQUIRED TOPSOIL IN ROUGH GRADING.
- GRADING ELEVATIONS AS SHOWN ON SITE AND LANDSCAPE PLANS ARE FINISHED GRADE WHICH INCLUDES SUBGRADE SOIL, TOPSOIL, SOIL AMENDMENTS, ROCKERY AND RUNOFF PROTECTION CONTRACTOR IS RESPONSIBLE TO COORDINATE GRADING WITH BOTH EXCAVATOR AND LANDSCAPE CONTRACTOR.

**GRADING LABEL LEGEND**

XX.XX	SPOT ELEVATION
XX.XX XX	DESCRIPTION LISTED BELOW.
BS	BOTTOM OF STAIRS
BOS	BOTTOM OF STORMWATER FACILITY
SW	FINISHED GRADE AT BOTTOM OF WALL
DS	DOOR SILL
EX	EXISTING GRADE
FF	FINISHED FLOOR ELEVATION
FG	FINISH GRADE
G	GROUND
SW	SIDEWALK
TC	TOP OF CURB
TP	TOP OF PAVEMENT
TS	TOP OF STAIRS
TW	FINISHED GRADE AT TOP OF WALL

**LEGEND**

EXISTING CONTOUR MINOR	---	102
EXISTING CONTOUR MAJOR	---	100
PROPOSED CONTOUR MINOR	---	102
PROPOSED CONTOUR MAJOR	---	100
GRADE BREAK	---	GB



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 2 12/02/2021 DESIGN REVIEW REVISION



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NEW CONSTRUCTION FOR:  
**LUCKY FOODS**  
 SEQUOIA PKWY & 4TH AVE (NO SITUS)  
 CANBY, OREGON 97013

**GRADING PLAN**

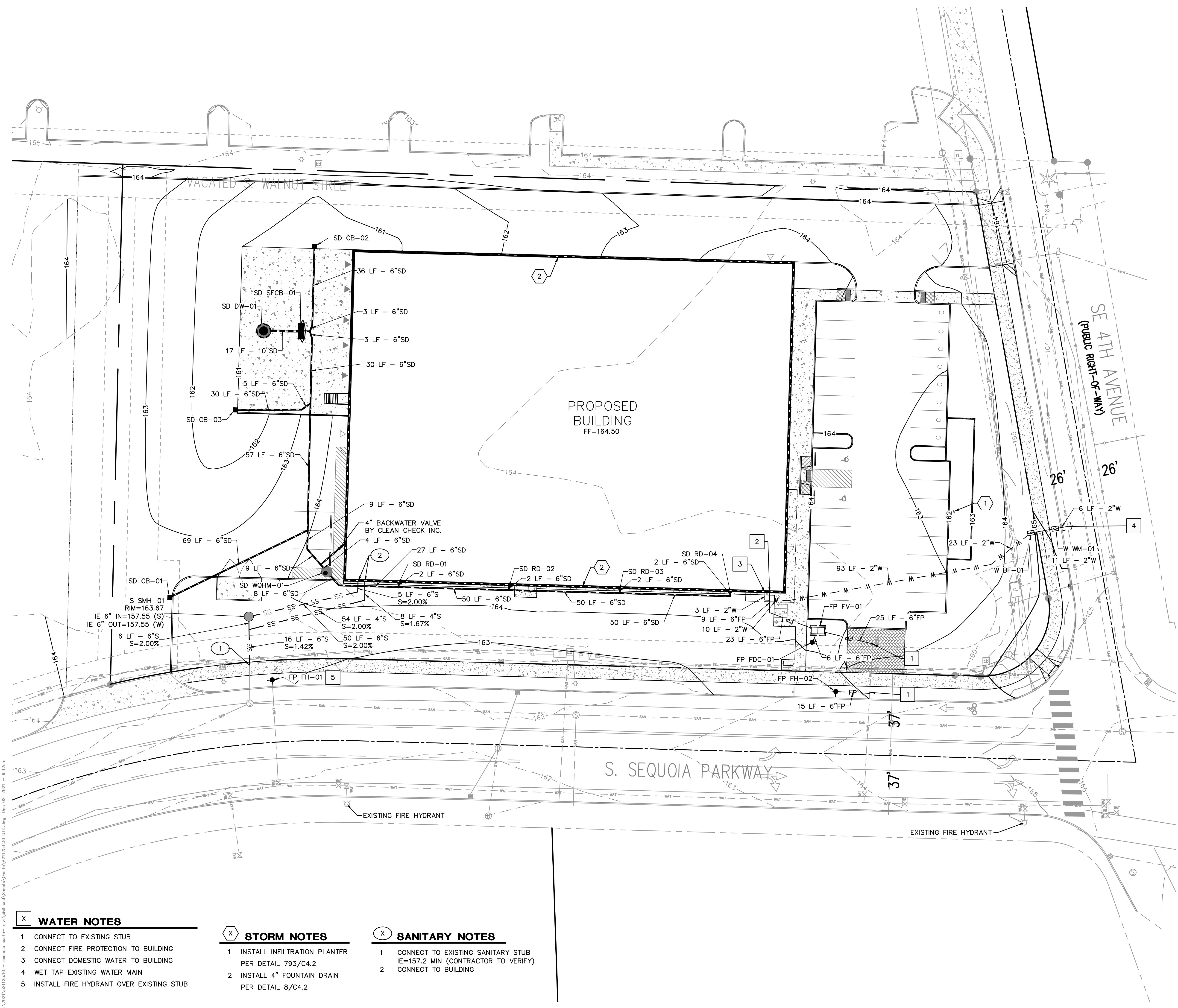
**C2.0**

JOB NO. 210146.01

12/02/2021 - DESIGN REVIEW

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**SHEET NOTES**

- SEE SHEET C0.1 FOR GENERAL SHEET NOTES.
- STRUCTURES HORIZONTAL LOCATIONS AND PIPE INVERTS ARE BASED ON THE CENTER OF THE STRUCTURE.
- PIPE BEDDING AND BACKFILL UTILITIES SHALL BE DONE PER DETAIL 1/C4.1.
- INSTALL THRUST BLOCKS ON FIRE AND WATER LINES PER DETAIL 2/C4.1.
- ALL SANITARY PIPING SHALL BE PVC 3034 OR APPROVED EQUAL UNLESS NOTED OTHERWISE.
- THIS PLAN IS GENERALLY DIAGRAMMATIC. IT DOES NOT SHOW EVERY JOINT, BEND, FITTING, OR ACCESSORY REQUIRED FOR CONSTRUCTION.
- CLEAN OUTS SHALL BE INSTALLED IN CONFORMANCE WITH UPC CHAPTER SEVEN, SECTION 707 AND SECTION 719. THIS PLAN MAY NOT SHOW ALL REQUIRED CLEAN OUTS.
- DOMESTIC WATER AND FIRE LINES AND ACCESSORIES BETWEEN THE WATER METER AND THE BUILDING SHALL BE INSTALLED BY A LICENSED PLUMBER EMPLOYED BY A LICENSED PLUMBING CONTRACTOR.
- UTILITIES WITHIN FIVE FEET OF A BUILDING SHALL BE CONSTRUCTED OF MATERIALS APPROVED FOR INTERIOR USE AS DESCRIBED IN THE CURRENT EDITION OF THE UPC.
- INLETS AND OUTLETS TO ON-SITE MANHOLES SHALL HAVE FLEXIBLE CONNECTION NO CLOSER THAN 12" AND NO FARTHER THAN 36" FROM THE MANHOLE.
- CONTRACTOR TO VERIFY SANITARY AND WATER SIZING AND INVERTS WITH APPROVED PLUMBING PLANS PRIOR TO ORDERING MATERIALS OR BEGINNING CONSTRUCTION OF SAID UTILITIES.
- ALL STORM AND SANITARY FITTINGS TO BE ECCENTRIC FITTINGS UNLESS OTHERWISE NOTED.

**LABEL LEGEND**

**PIPE LABELS**

UTILITY LENGTH  
 UTILITY SIZE  
 XXLF - XX" XX ← UTILITY TYPE  
 S=X.XX% ← SLOPE (WHERE APPLICABLE)

**STRUCTURE LABELS**

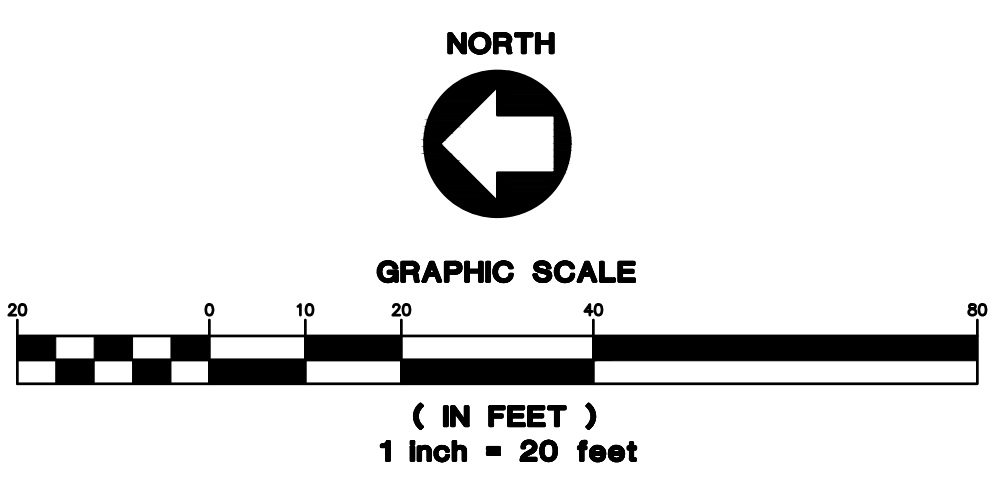
UTILITY TYPE (FP=FIRE PROTECTION, S=SANITARY, SD=STORM DRAINAGE, W=WATER)  
 STRUCTURE TYPE (SEE BELOW)  
 XX XX-XX ← ID NUMBER (WHERE APPLICABLE)  
 RIM=XX.XX  
 IE IN=XX.X  
 IE OUT=XX.X

**STRUCTURE TYPES**

TYPE	DESCRIPTION
BF	BACKFLOW ASSEMBLY, PER DETAIL 3/C4.1
CB	CATCH BASIN, PER DETAIL 4/C4.1
DW	DRYWELL, PER DETAIL 7/C4.1
FDC	FIRE DEPARTMENT CONNECTION, PER DETAIL 6/C4.1
FH	FIRE HYDRANT PER DETAIL 001/C4.2
FV	FIRE VAULT, PER DETAIL 5/C4.1
RD	ROOF DRAIN CONNECTION
SFCB	STORMFILTER CATCH BASIN PER DETAIL/C4.2
SMH	SAMPLING MANHOLE PER DETAIL 9/C4.1
WM	WATER METER, PER DETAIL 003/C4.2
WQMH	WATER QUALITY MANHOLE PER CWS DETAILS 250 & 260/C4.2

**LEGEND**

SANITARY SEWER LINE	SS
WATER LINE	W
FIRE LINE	FP
FDC LINE	FDC
STORM LINE	SD



**WATER NOTES**

- CONNECT TO EXISTING STUB
- CONNECT FIRE PROTECTION TO BUILDING
- CONNECT DOMESTIC WATER TO BUILDING
- WET TAP EXISTING WATER MAIN
- INSTALL FIRE HYDRANT OVER EXISTING STUB

**STORM NOTES**

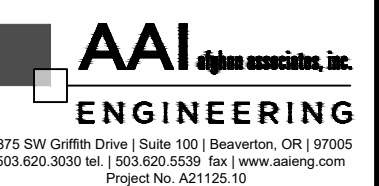
- INSTALL INFILTRATION PLANTER PER DETAIL 793/C4.2
- INSTALL 4" FOUNTAIN DRAIN PER DETAIL 8/C4.2

**SANITARY NOTES**

- CONNECT TO EXISTING SANITARY STUB IE=157.2 MIN (CONTRACTOR TO VERIFY)
- CONNECT TO BUILDING



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NEW CONSTRUCTION FOR:

**LUCKY FOODS**

SEQUOIA PKWY & 4TH AVE (NO SITUS)  
 CANBY, OREGON 97013

UTILITY PLAN

**C3.0**

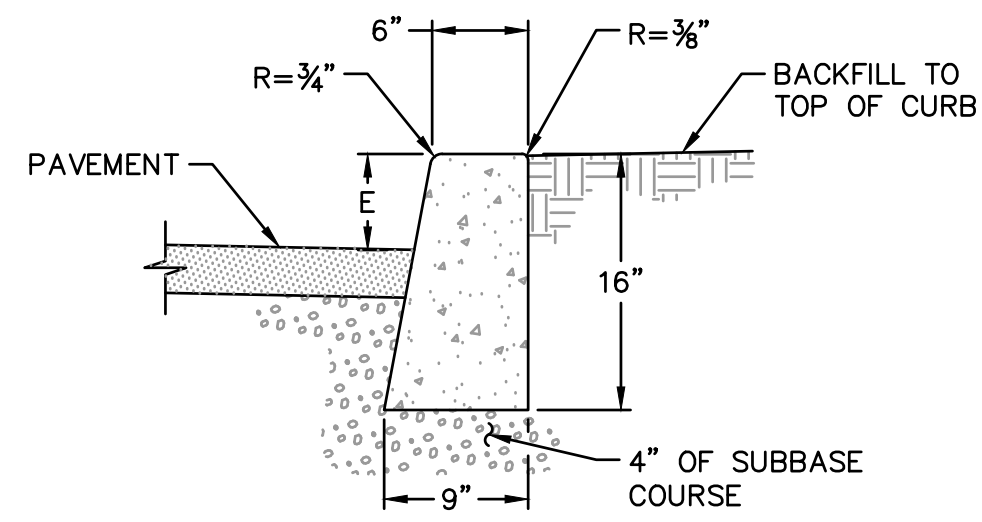
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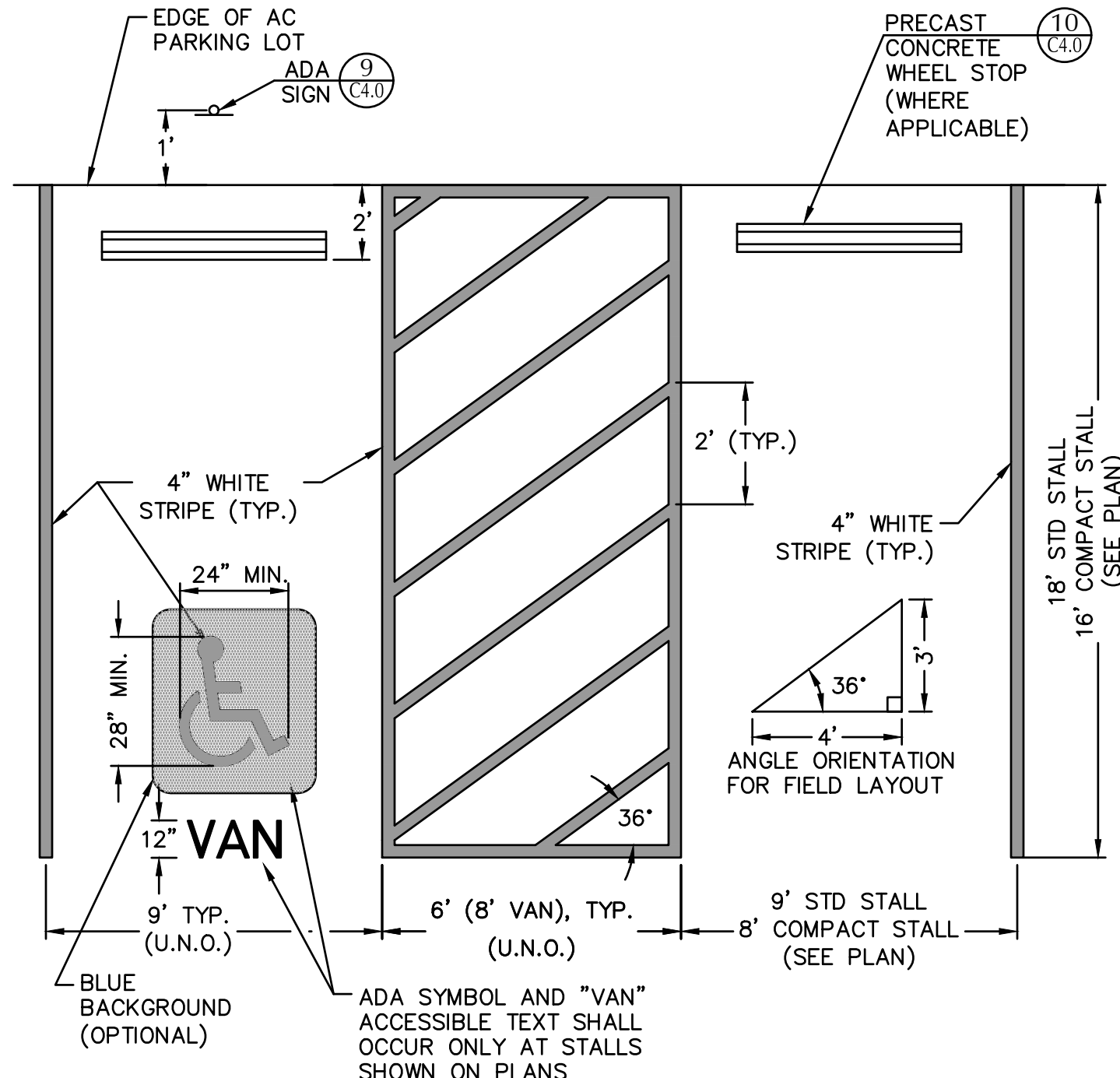




- NOTES:**
- CURB EXPOSURE 'E' = 6", TYP. VARY AS SHOWN ON PLANS OR AS DIRECTED.
  - CONSTRUCT CONTRACTION JOINTS AT 15' MAX. SPACING AND AT RAMPS. CONSTRUCT EXPANSION JOINTS AT 200' MAX SPACING AT POINTS OF TANGENCY AND AT ENDS OF EACH DRIVEWAY.
  - TOPS OF ALL CURBS SHALL SLOPE TOWARD THE ROADWAY AT 2% UNLESS OTHERWISE SHOWN OR AS DIRECTED.
  - DIMENSIONS ARE NOMINAL AND MAY VARY TO CONFORM WITH CURB MACHINE AS APPROVED BY THE ENGINEER.

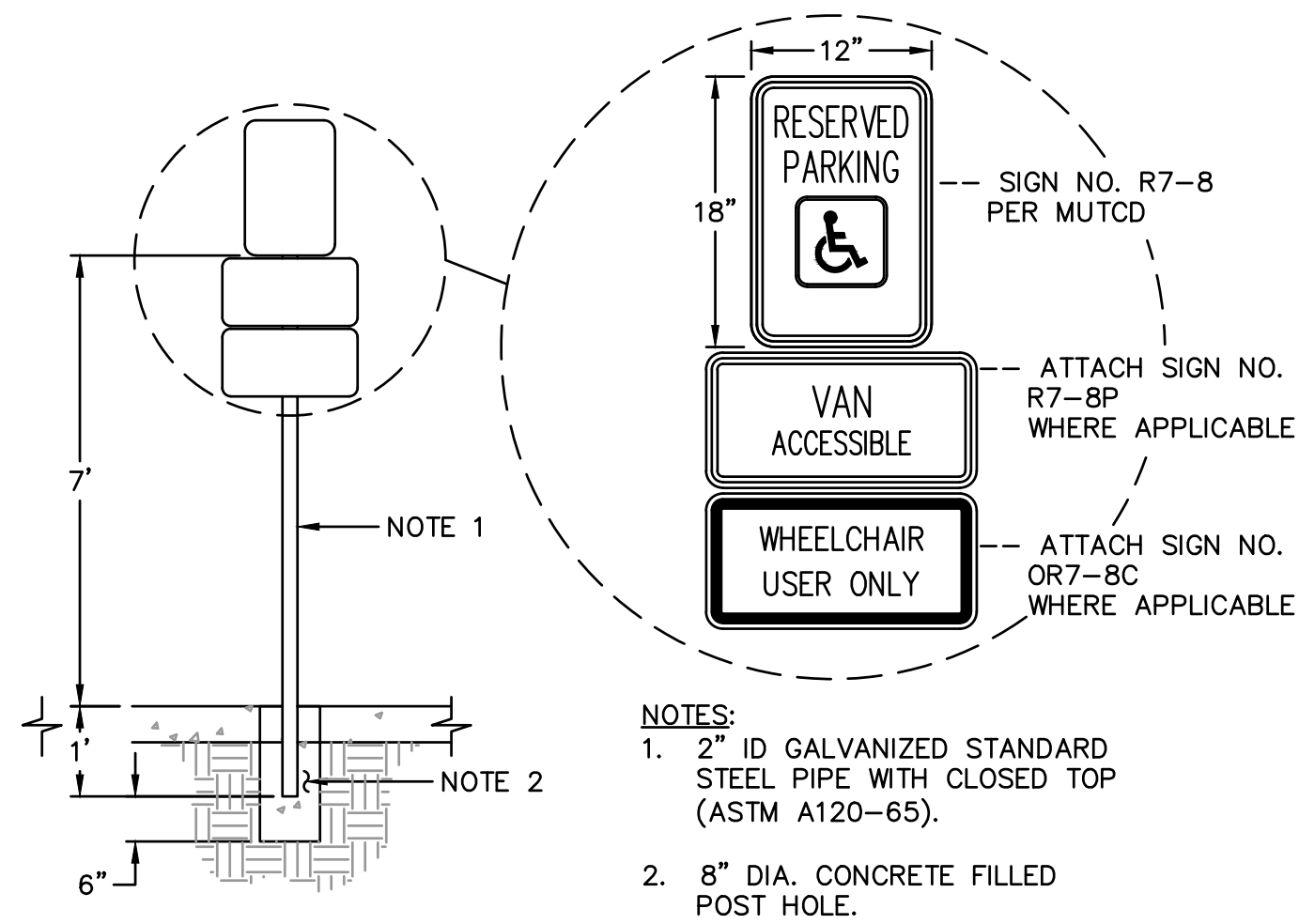
**1 CONCRETE CURB - STANDARD**

SCALE: NTS



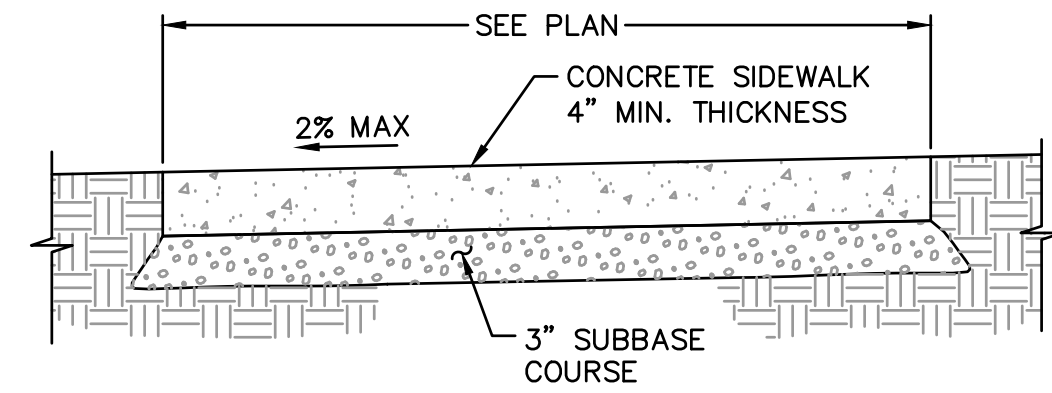
**5 TYPICAL PARKING LAYOUT**

SCALE: NTS



**9 ADA PARKING SIGN - TYPE 2**

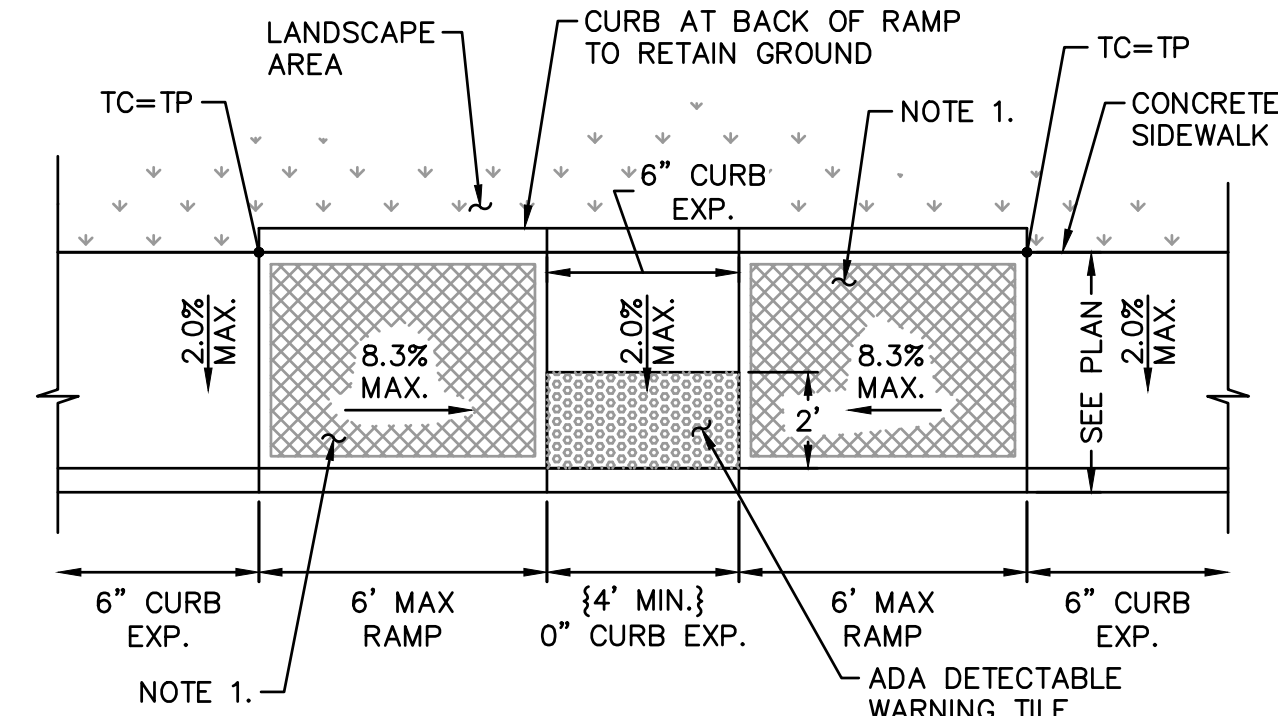
SCALE: NTS



- NOTES:**
- CONSTRUCT CONTRACTION JOINTS AT 15' MAX. SPACING AND AT RAMPS. CONSTRUCT EXPANSION JOINTS AT 200' MAX SPACING, AT POINTS OF TANGENCY AND AT ENDS OF EACH DRIVEWAY, UNLESS NOTED OTHERWISE.
  - CONCRETE SHALL BE 3000 P.S.I AT 28 DAYS, 6 SACK MIX, SLUMP RANGE OF 1-1/2" TO 3".
  - PANELS SHALL BE 5 FEET LONG.
  - EXPANSION JOINTS TO BE PLACED AT SIDES OF DRIVEWAY APPROACHES, UTILITY VAULTS, WHEELCHAIR RAMPS, AND AT SPACING NOT TO EXCEED 45 FEET.
  - FOR SIDEWALKS ADJACENT TO THE CURB AND POURED AT THE SAME TIME AS THE CURB, THE JOINT BETWEEN THEM SHALL BE A TROWELED JOINT WITH A MINIMUM 1/2" RADIUS.
  - SIDEWALK SHALL HAVE A MINIMUM THICKNESS OF 6 INCHES IF MOUNTABLE CURB IS USED OR IF SIDEWALK IS INTENDED AS PORTION OF DRIVEWAY. OTHERWISE SIDEWALK SHALL HAVE A MINIMUM THICKNESS OF 4 INCHES.
  - DRAIN BLOCKOUTS IN CURBS SHALL BE EXTENDED TO BACK OF SIDEWALK WITH 3" DIA. PVC PIPE AT 2% SLOPE. CONTRACTION JOINT TO BE PLACED OVER PIPE.

**2 CONCRETE SIDEWALK**

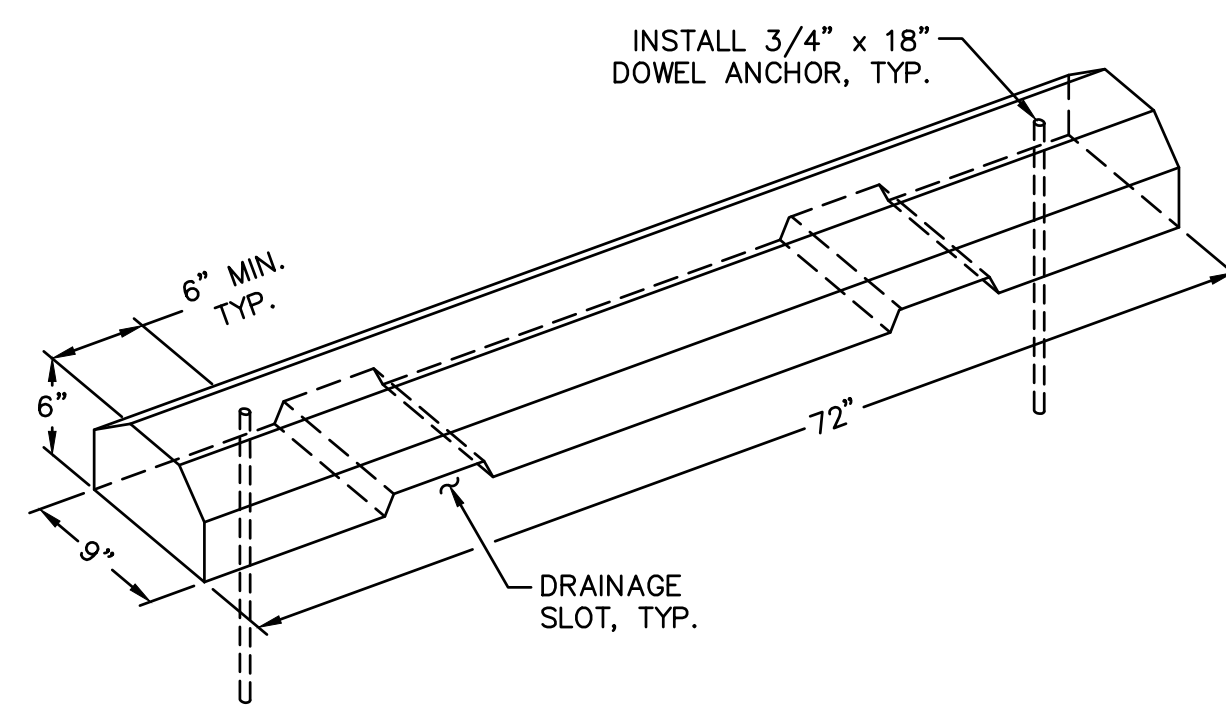
SCALE: NTS



- NOTES:**
- PROVIDE RAMP TEXTURING WITH AN EXPANDED METAL GRATE PLACED ON AND REMOVED FROM WET CONCRETE TO LEAVE A DIAMOND PATTERN. EACH DIAMOND SHALL BE 1 1/4" LONG BY 1/2" WIDE WITH THE LONG SECTION AXIS ORIENTED PERPENDICULAR TO THE CURB. THE GROOVES SHALL BE 1/8" DEEP BY 1/4" WIDE.

**6 CURB RAMP - TYPE 1**

SCALE: NTS



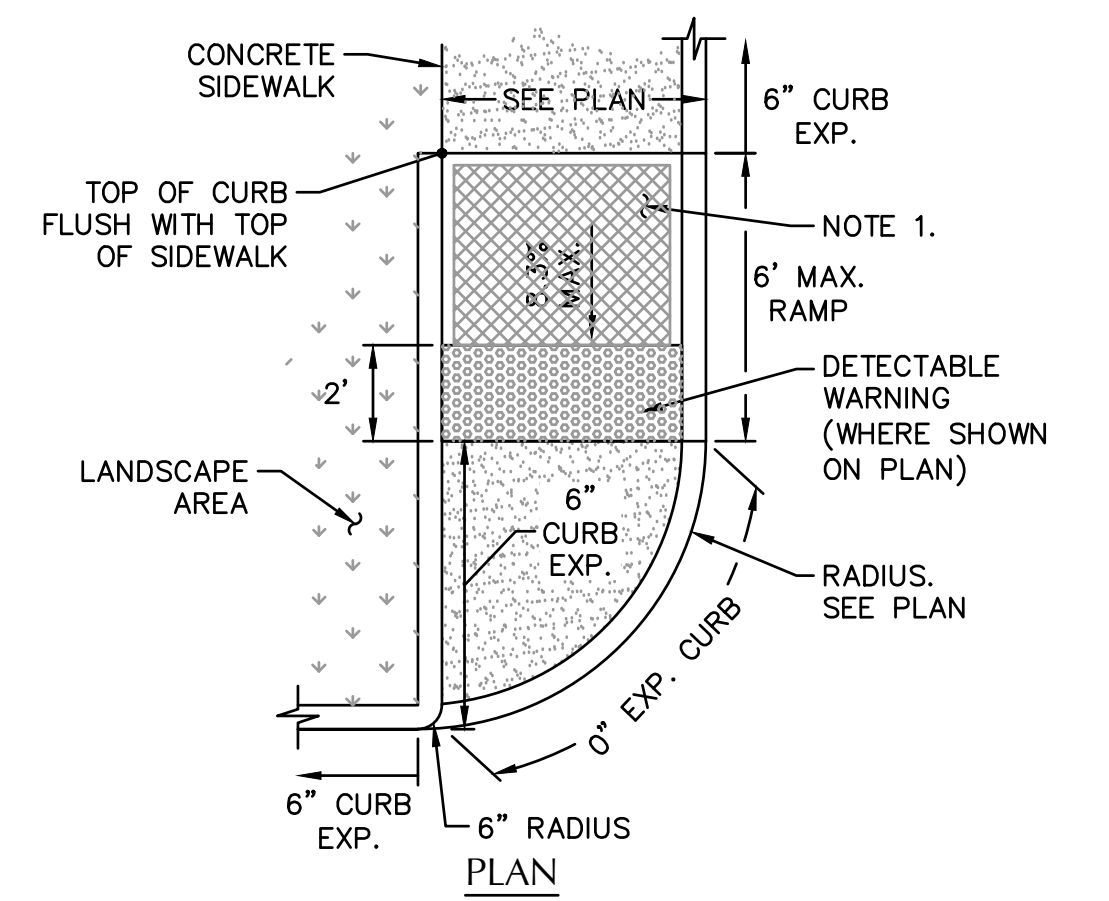
- NOTES:**
- DIMENSIONS ARE NOMINAL AND MAY VARY TO CONFORM TO MANUFACTURER'S PRODUCTS APPROVED BY ENGINEER.

**10 PRECAST CONCRETE WHEEL STOP**

SCALE: NTS

**3 ASPHALT PAVEMENT SECTION**

SCALE: NTS



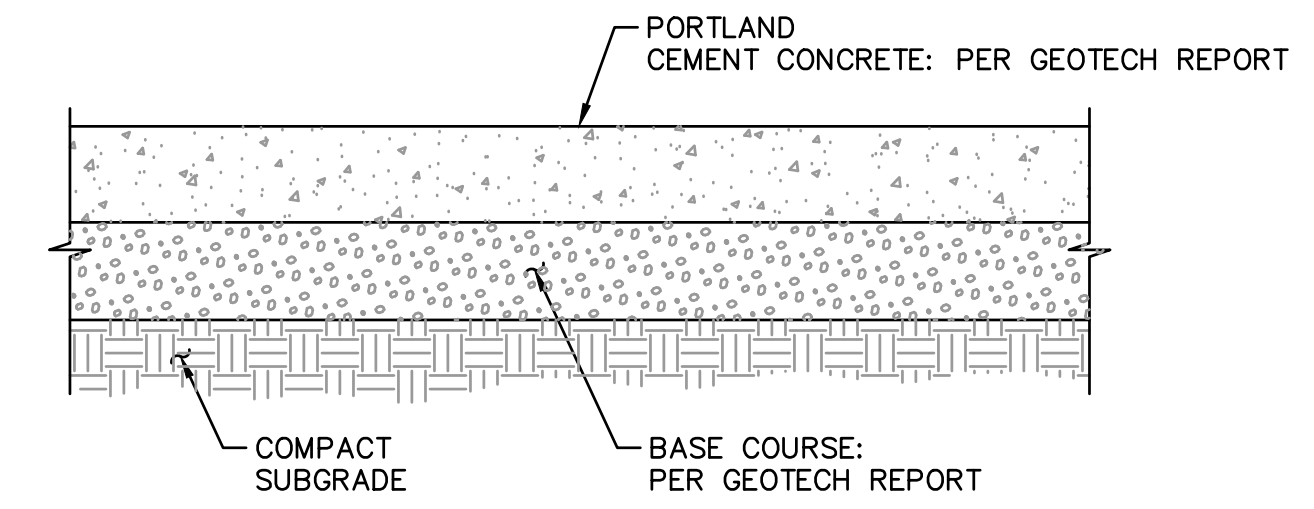
- NOTES:**
- PROVIDE RAMP TEXTURING WITH AN EXPANDED METAL GRATE PLACED ON AND REMOVED FROM WET CONCRETE TO LEAVE A DIAMOND PATTERN. EACH DIAMOND SHALL BE 1 1/4" LONG BY 1/2" WIDE WITH THE LONG SECTION AXIS ORIENTED PERPENDICULAR TO THE CURB. THE GROOVES SHALL BE 1/8" DEEP BY 1/4" WIDE.

**7 CURB RAMP - TYPE 2**

SCALE: NTS

**8 PIPE BOLLARD (4" DIA)**

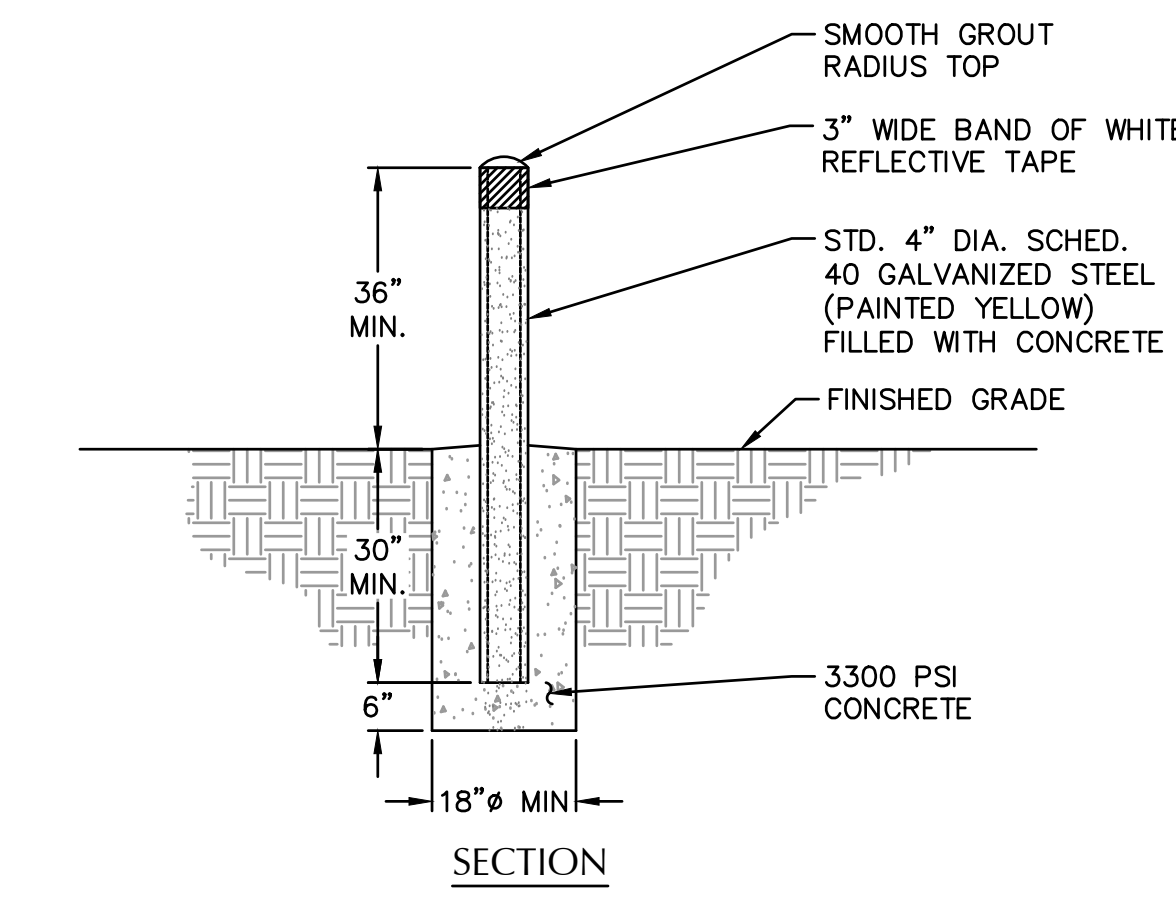
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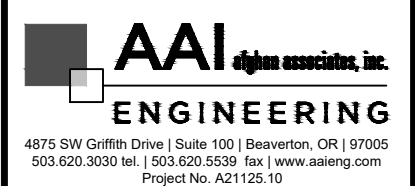
- NOTES:**
- CONSTRUCT CONTRACTION JOINTS AT 15' MAX. SPACING AND AT RAMPS. CONSTRUCT EXPANSION JOINTS AT 200' MAX. SPACING AT POINTS OF TANGENCY AND AT ENDS OF EACH DRIVEWAY.
  - PROVIDE MEDIUM TO COARSE BROOM FINISH.

**4 CONCRETE PAVEMENT SECTION**

SCALE: NTS



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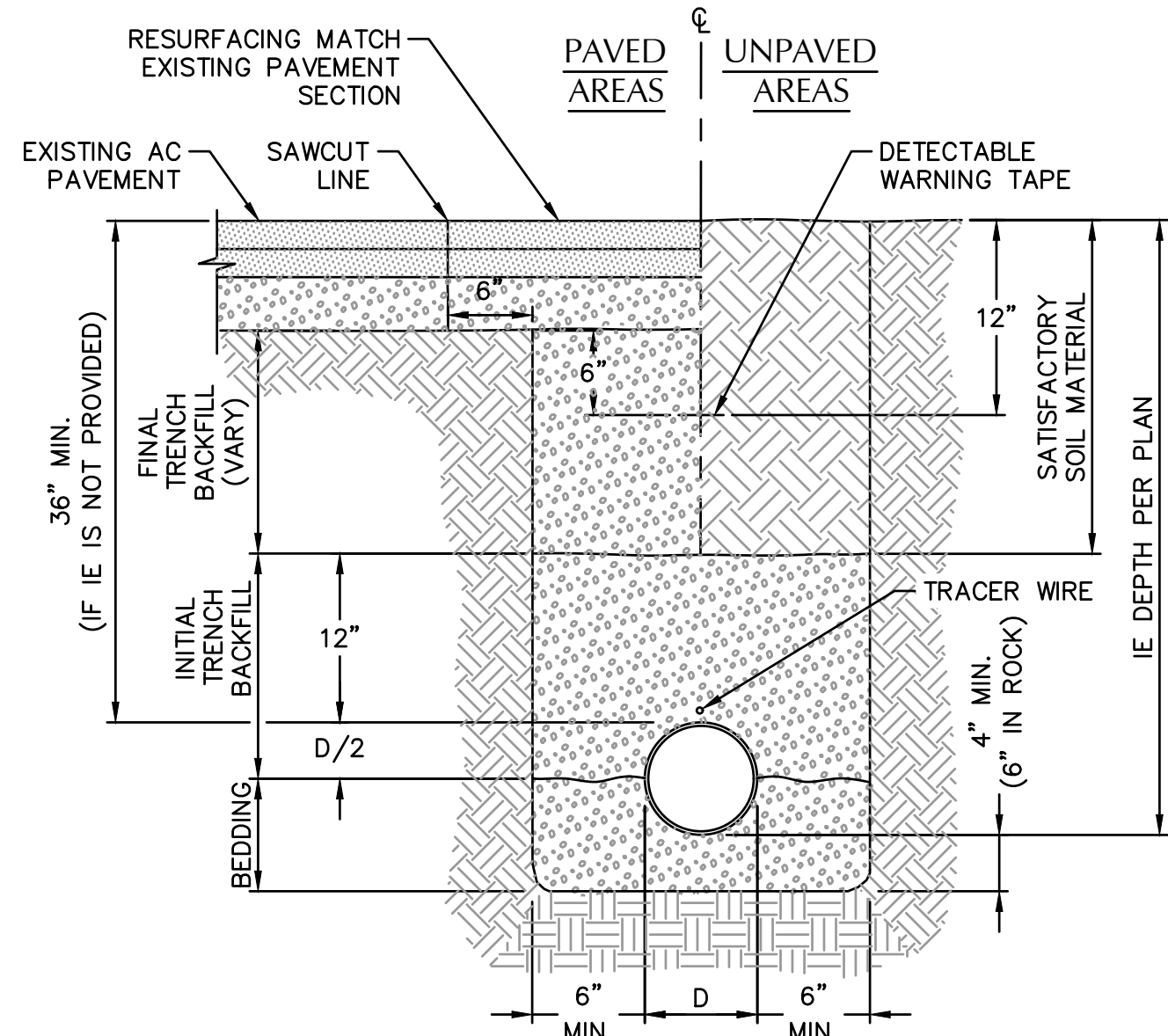
NEW CONSTRUCTION FOR:  
**LUCKY FOODS**  
SEQUOIA PKWY & 4TH AVE (NO SITUS)  
CANDY, OREGON 97013

DETAILS

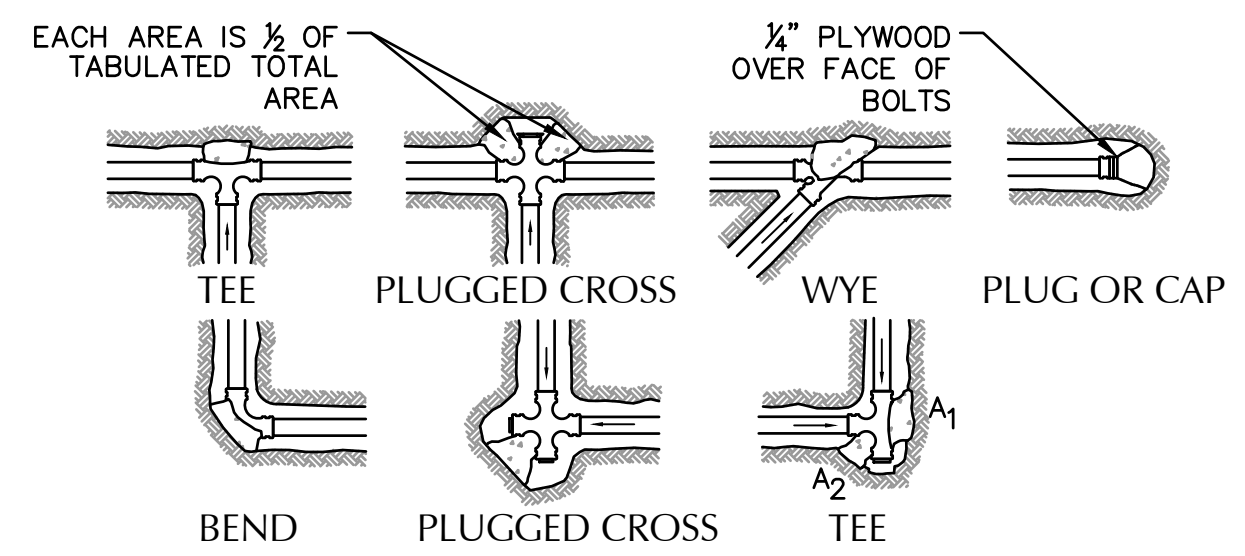
**C4.0**

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**1 TYPICAL PIPE BEDDING AND BACKFILL**  
SCALE: NTS



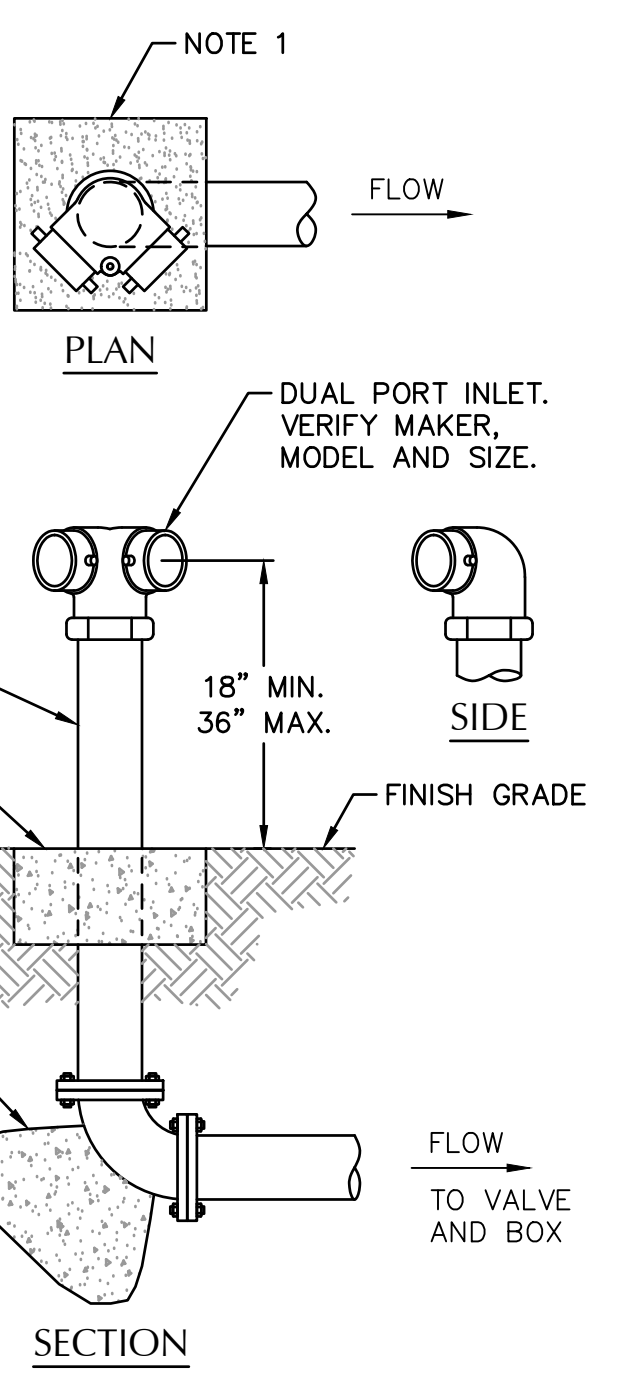
1. CONCRETE THRUST BLOCKING TO BE POURED AGAINST UNDISTURBED EARTH.
2. KEEP CONCRETE CLEAR OF JOINT AND ACCESSORIES.
3. THE REQUIRED THRUST BEARING AREAS FOR SPECIAL CONNECTIONS ARE SHOWN ENCIRCLED ON THE PLAN; e.g. (15) INDICATES 15 SQUARE FEET BEARING AREA REQUIRED.
4. IF NOT SHOWN ON PLANS REQUIRED BEARING AREAS AT FITTING SHALL BE AS INDICATED BELOW, ADJUST IF NECESSARY, TO CONFORM TO THE TEST PRESSURE(S) AND ALLOWABLE SOIL BEARING STRESS (ES) STATED IN THE SPECIAL SPECIFICATIONS.
5. BEARING AREAS AND SPECIAL BLOCKING DETAILS SHOWN ON PLANS TAKE PRECEDENCE OVER BEARING AREAS AND BLOCKING DETAILS SHOWN ON THIS STANDARD DETAIL.

BEARING AREA OF THRUST BLOCK IN SQUARE FOOT

FITTING SIZE	TEE, WYE, PLUG, OR CAP		90° BEND PLUGGED CROSS		45° BEND		22½° BEND		11½° BEND	
	A1	A2	A1	A2	A1	A2	A1	A2	A1	A2
4	1.0	1.4	1.9	1.4	1.0					
6	2.1	3.0	4.3	3.0	1.6		1.0			
8	3.8	5.3	7.6	5.4	2.9		1.5		1.0	
10	5.9	8.4	11.8	8.4	4.6		2.4		1.2	

NOTE: ABOVE BEARING AREAS BASED ON TEST PRESSURE OF 150 p.s.i. AND AN ALLOWABLE SOIL BEARING STRESS OF 2000 p.s.i.. TO COMPUTE BEARING AREAS FOR DIFFERENT TEST PRESSURE AND SOIL BEARING STRESSES, USE THE FOLLOWING EQUATION: BEARING AREA = (TEST PRESSURE/150)X(2000/ SOIL BEARING STRESS)X(TABLE VALUE).

**2 THRUST BLOCK**  
SCALE: NTS

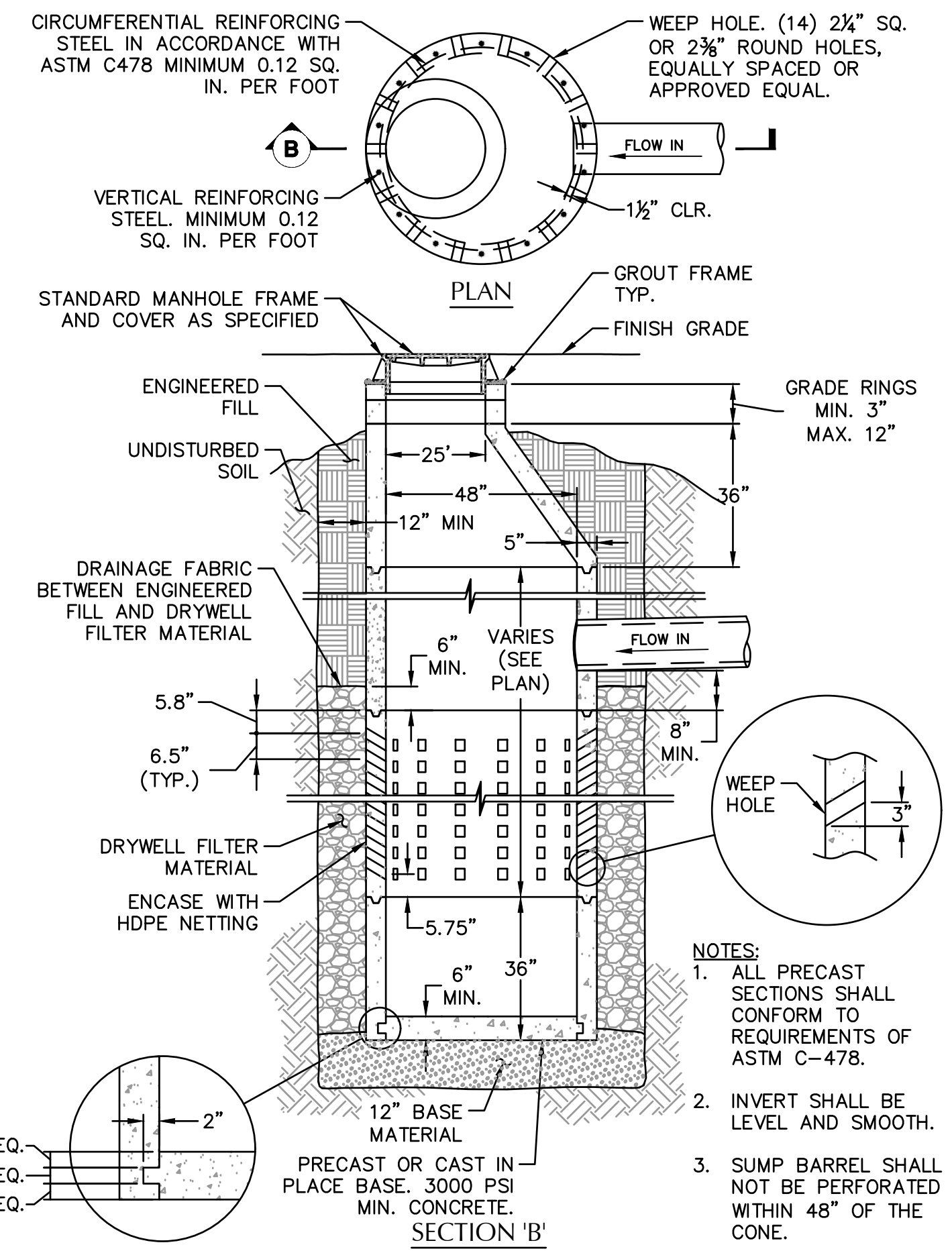


**5 DOUBLE CHECK DETECTOR ASSEMBLY FIRE SERVICE VAULT W/ DRAIN TO GROUND**  
SCALE: NTS

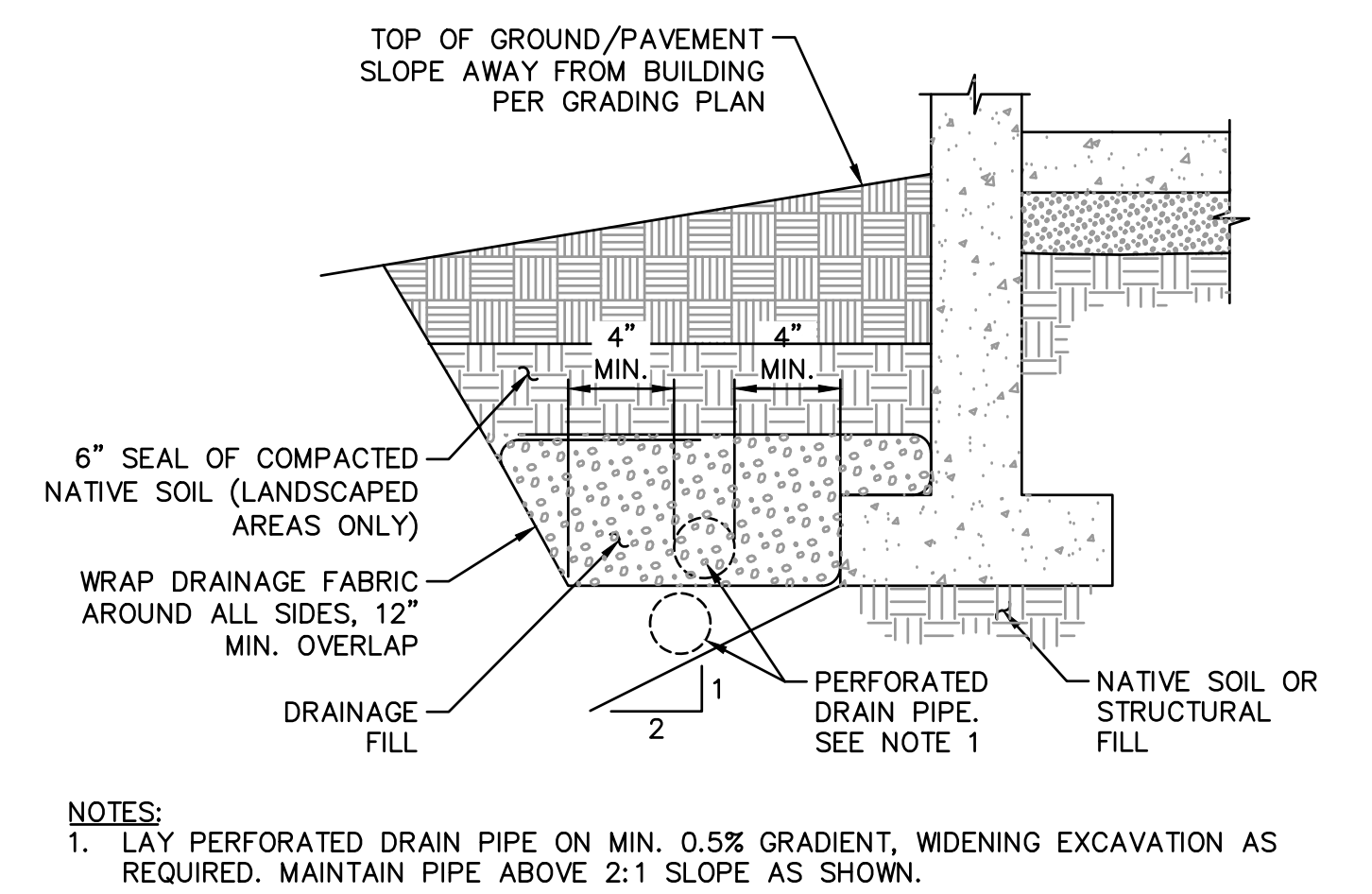
D.D.C. SIZE	UTILITY VAULT OR EQUAL WITH F.D.C.		WITHOUT F.D.C.		BILCO DOOR OR EQUAL
	676 - WA	577 - WA	687 - WA	676 - WA	
4"	676 - WA	577 - WA	687 - WA	676 - WA	J - 5AL
6"	687 - WA	676 - WA	687 - WA	676 - WA	J - 5AL
8"	5106 - LA	687 - WA	687 - WA	676 - WA	JD - 3AL
10"	5106 - LA	5106 - LA	687 - WA	676 - WA	JD - 3AL

- NOTES:
1. CONCRETE ANCHOR PAD TO BE 12"x12"x6" THICK, UNLESS NOTED OTHERWISE. ELIMINATE IF INSTALLED IN CONCRETE PAVED AREA.
  2. USE FLANGE OR THREADED FITTINGS.
  3. CONTRACTOR SHALL PROVIDE SINGLE CHECK VALVE AND BALL DRIP VALVE IN ACCESSIBLE LOCATION INSIDE DDCV VAULT. COORDINATE WITH PLUMBING.
- FIRE DEPARTMENT CONNECTION (FDC) DUAL PORT**  
SCALE: NTS

**3 DOUBLE CHECK BACKFLOW ASSEMBLY**  
SCALE: NTS

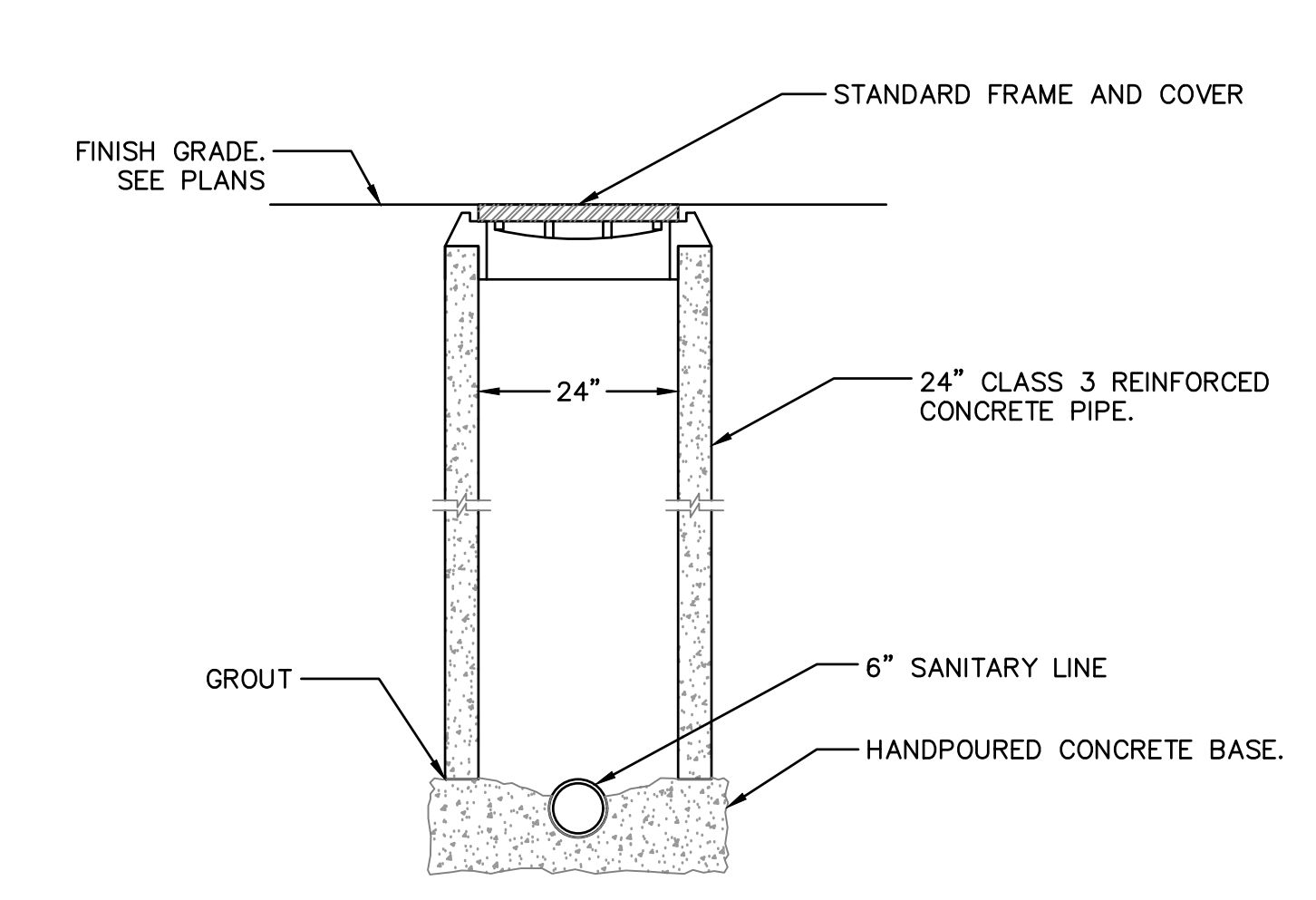


**4 TRAPPED CATCH BASIN**  
SCALE: NTS



**7 STANDARD DRYWELL**  
SCALE: NTS

**8 PERIMETER FOUNDATION DRAIN**  
SCALE: NTS



**9 SANITARY WASTE SAMPLING PORT**  
SCALE: NTS



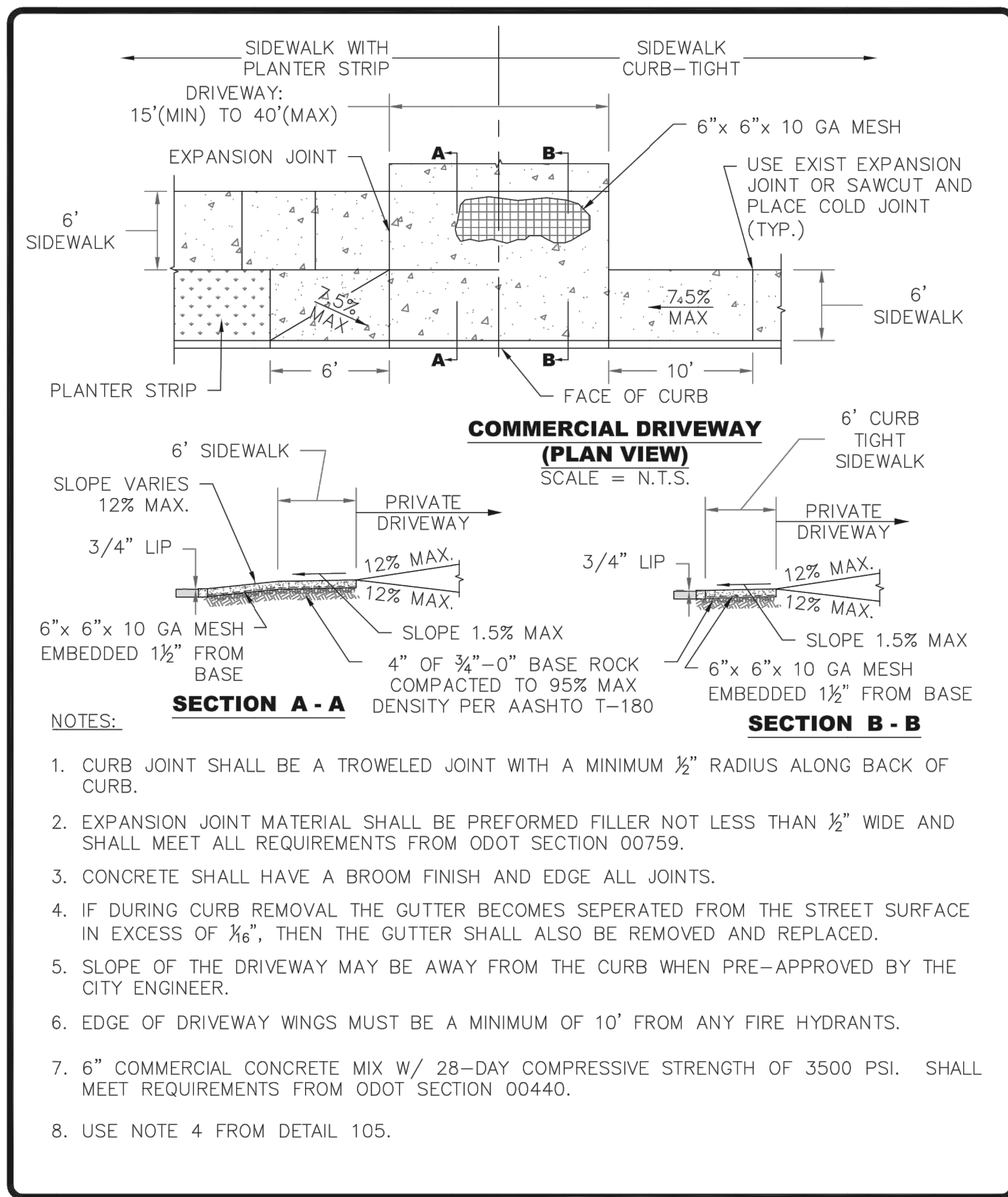
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NEW CONSTRUCTION FOR:  
**LUCKY FOODS**  
SEQUOIA PKWY & 4TH AVE (NO SITUS)  
CANY, OREGON 97013

DETAILS  
**C4.1**  
JOB NO. 210146.01

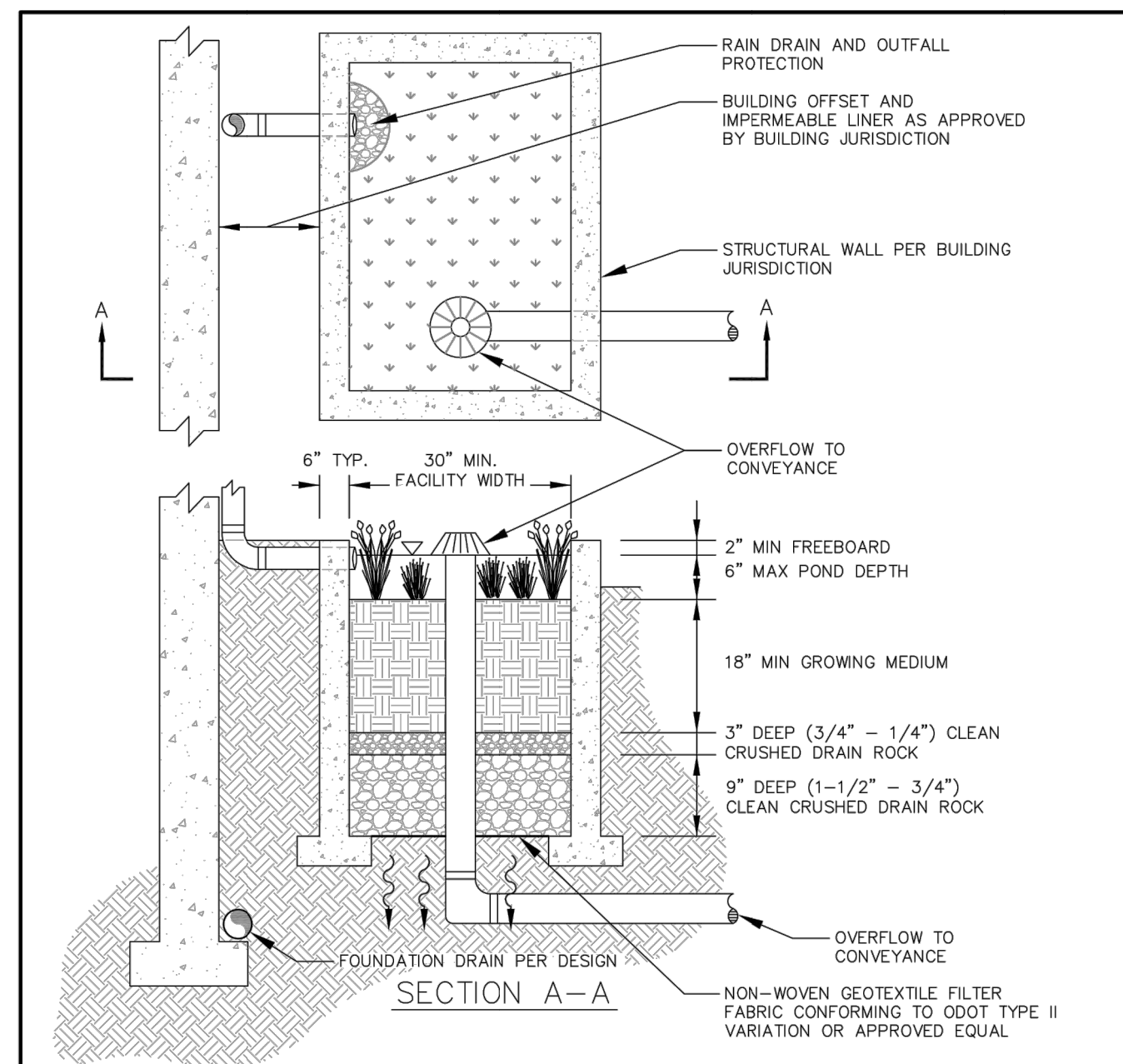




**CITY OF CANBY**

**COMMERCIAL DRIVEWAY**

BY: JT      DATE: 12-06-19      DWG NO: 104

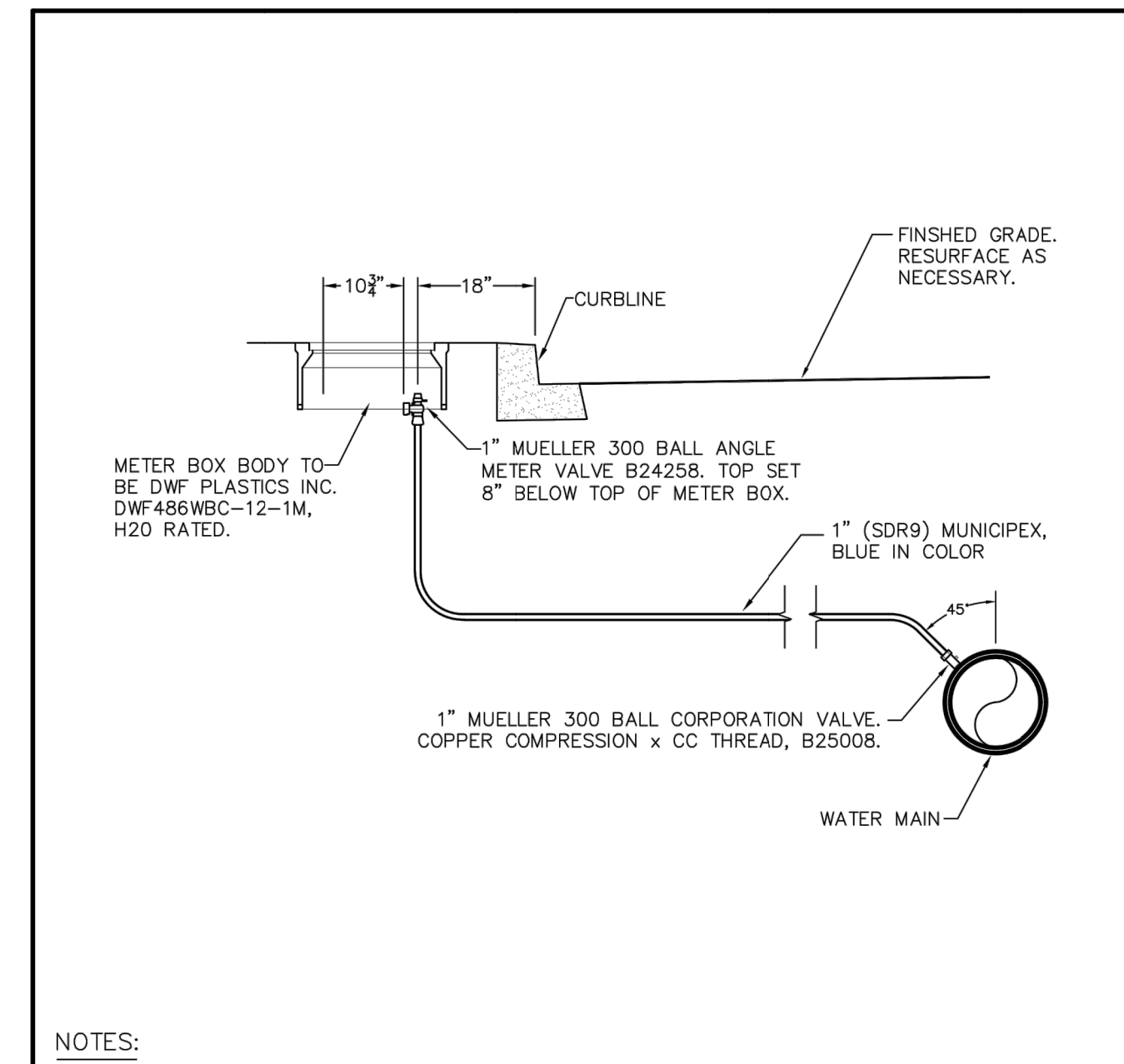


**INFILTRATION PLANTER**

**LIDA HANDBOOK**  
REVISED 03-16

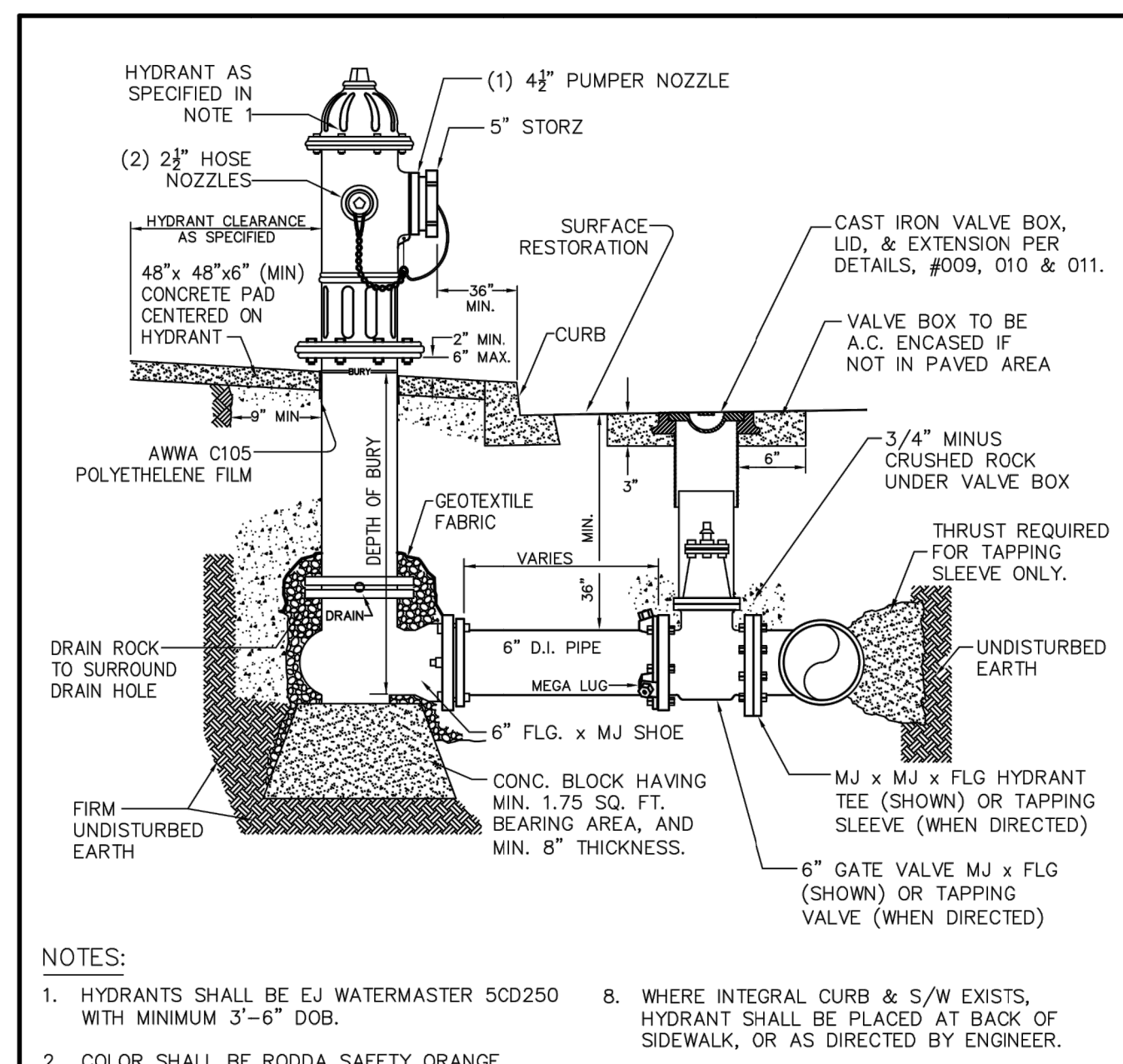
**CleanWater Services**

DRAWING NO. 793



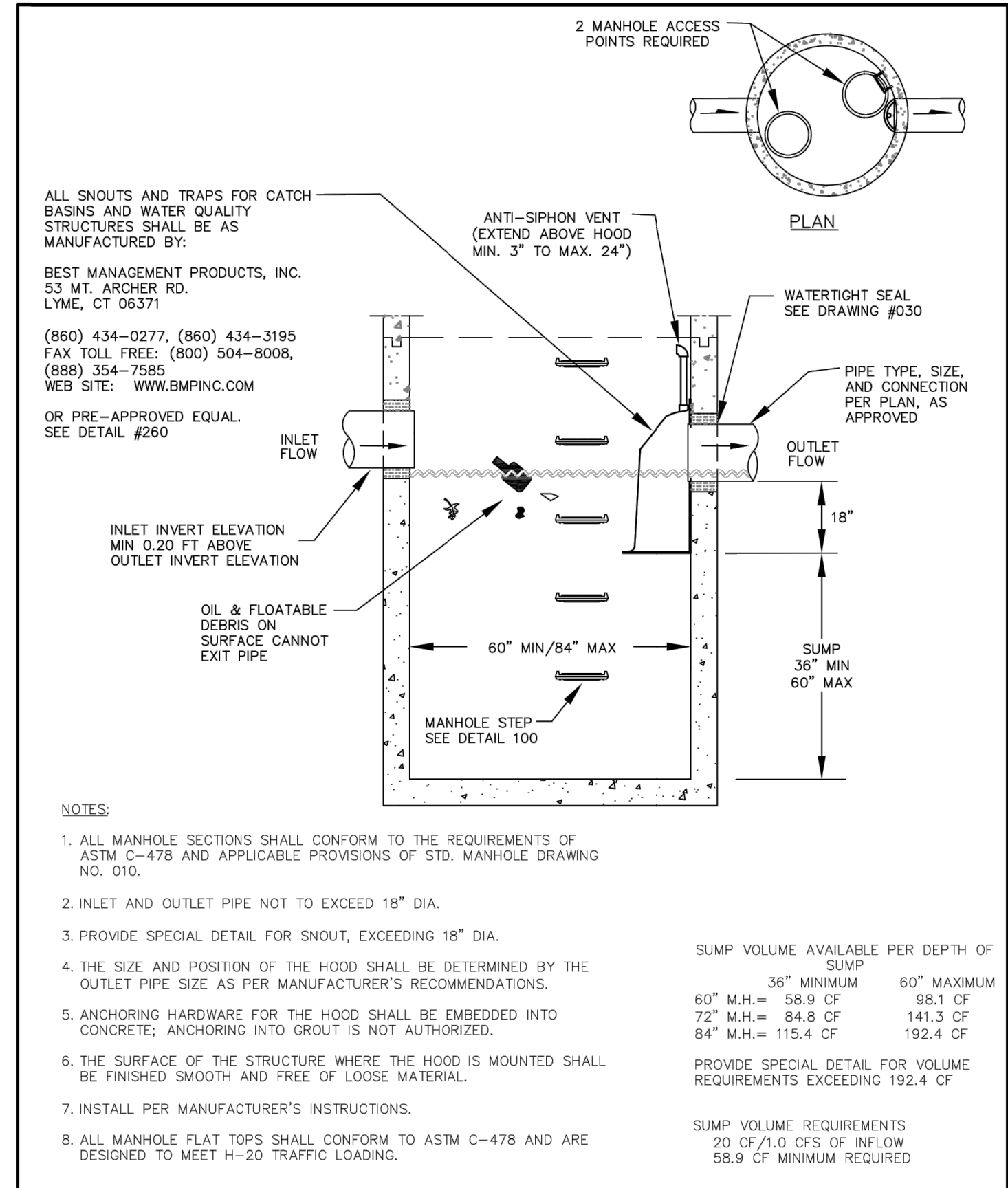
**1" SERVICE ASSEMBLY**

DATE: 12/10/2018  
DRAWING NO. 003



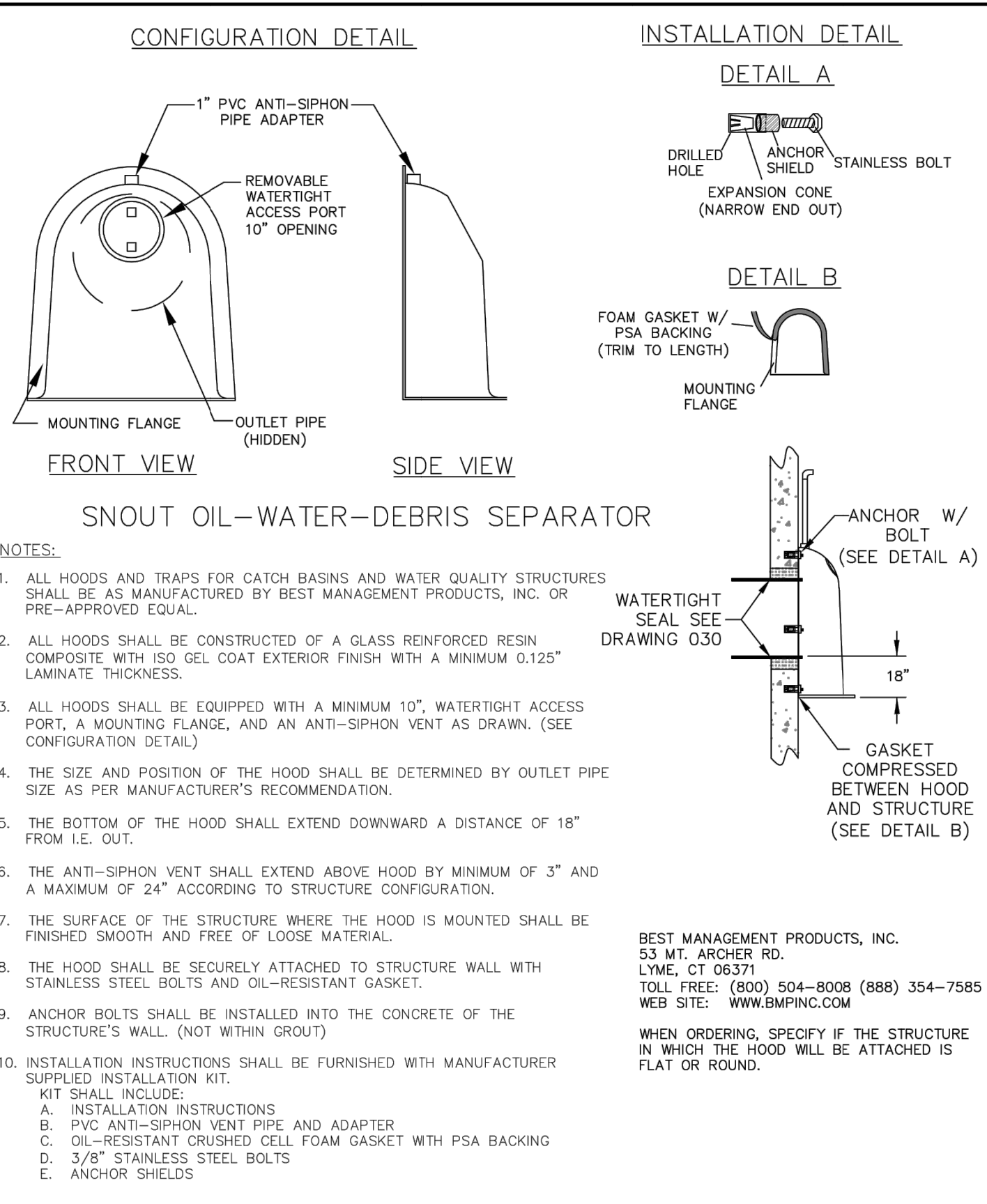
**STANDARD FIRE HYDRANT ASSEMBLY**

DATE: 12/10/2018  
DRAWING NO. 001



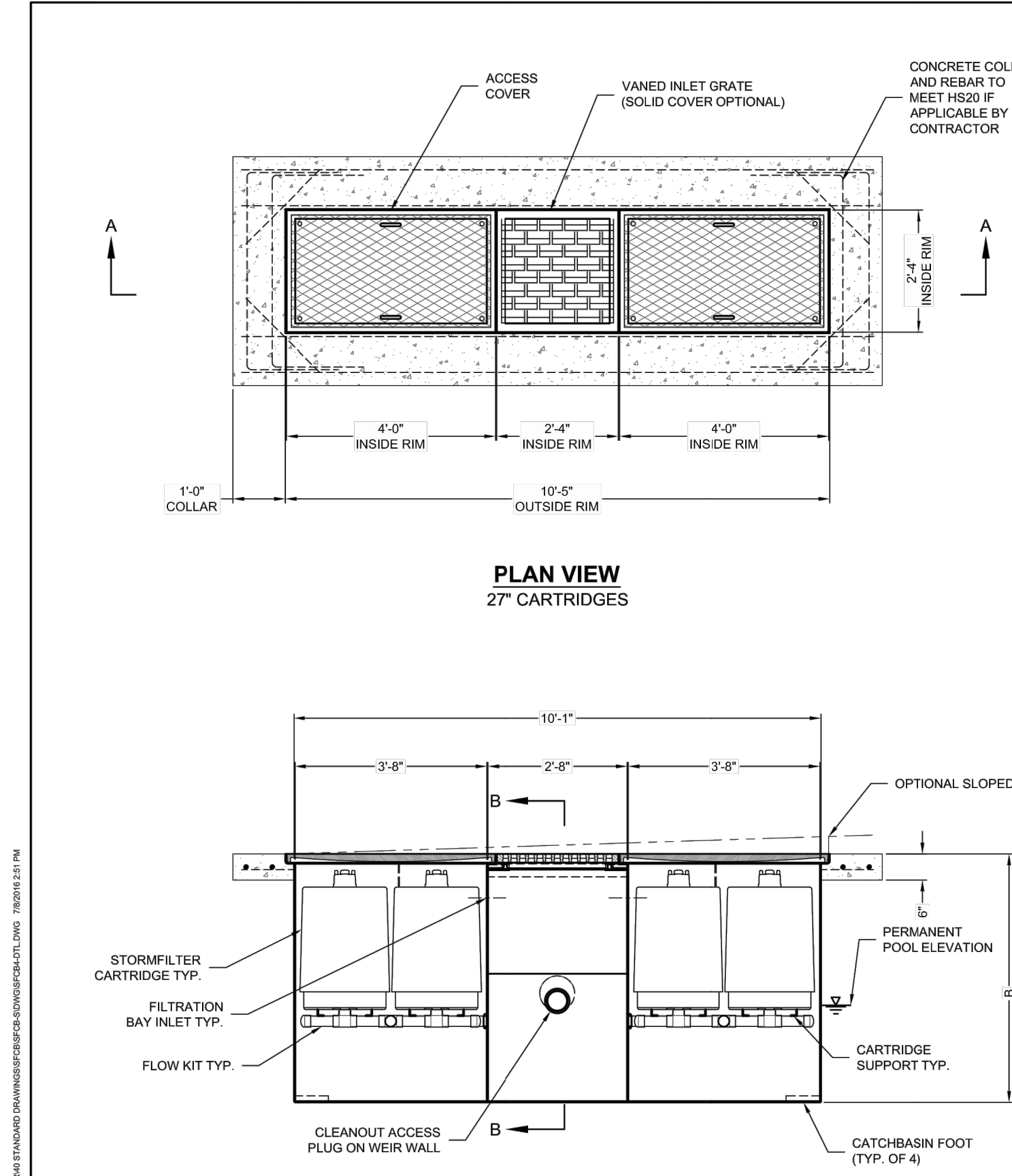
**WATER QUALITY MANHOLE (SNOU) A**

DATE: 10-31-19

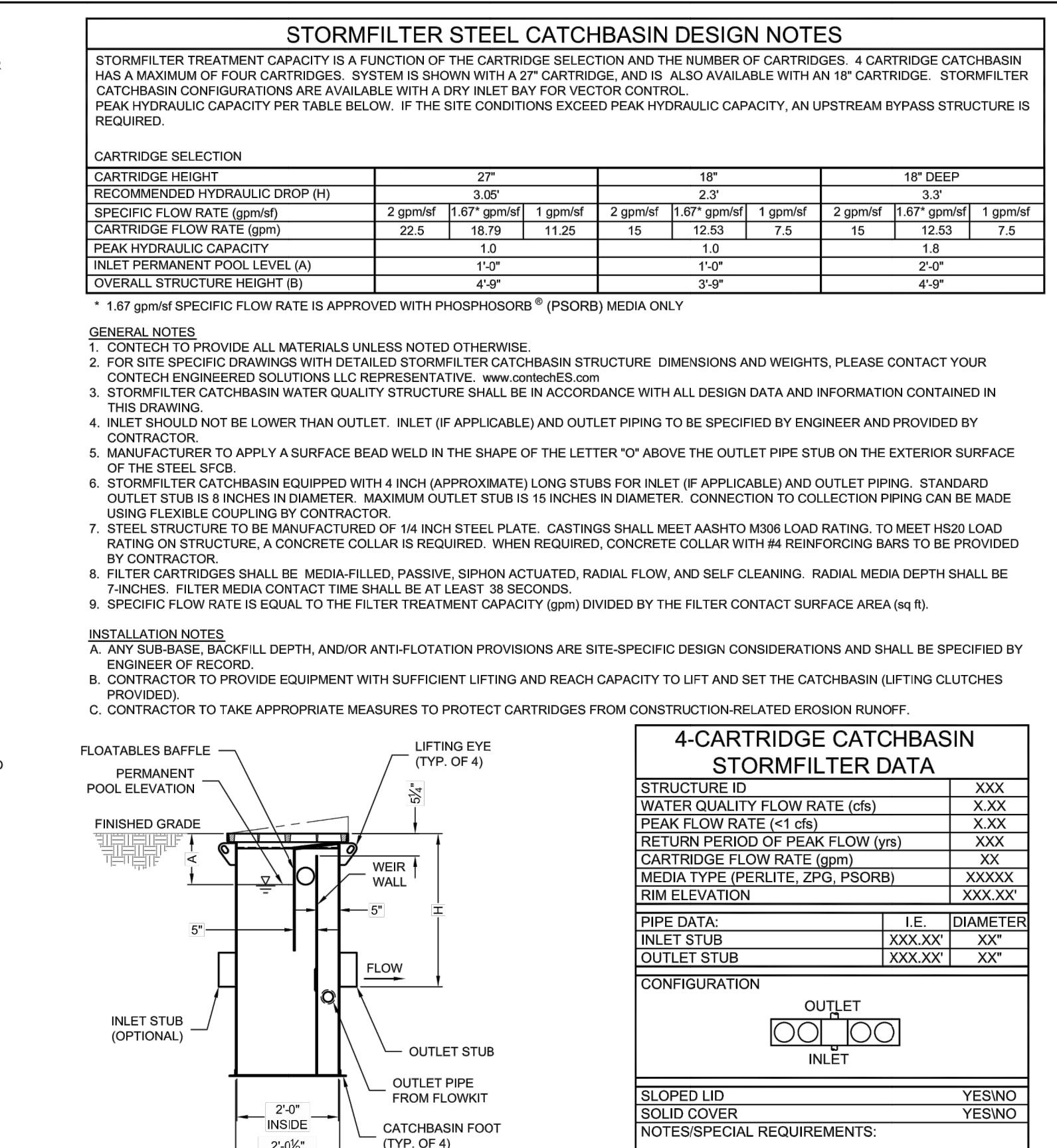


**WATER QUALITY MANHOLE (SNOU) B**

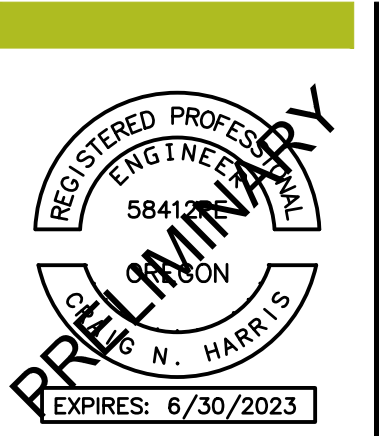
DATE: 10-31-19



**STORMFILTER**  
ENGINEERED SOLUTIONS LLC



**4-CARTRIDGE CATCHBASIN STORMFILTER STANDARD DETAIL**



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