

TREES

EXISTING TOTAL TREE CALIPER 30"	
ALL TREES TO BE REMOVED	
15" PROPOSED TREES REQUIRED TO REPLACE EXISTING BUILDING - TO BE REMOVED	
EXISTING RESIDENCE	986 SQ. FT. 19'-2" TALL

PROPOSED BUILDINGS

BUILDING 1 AREA	2965 SQ. FT.
BUILDING 1 HEIGHT	32'-2" TALL
BUILDING 2 AREA	2965 SQ. FT.
BUILDING 2 HEIGHT	25'-1" TALL

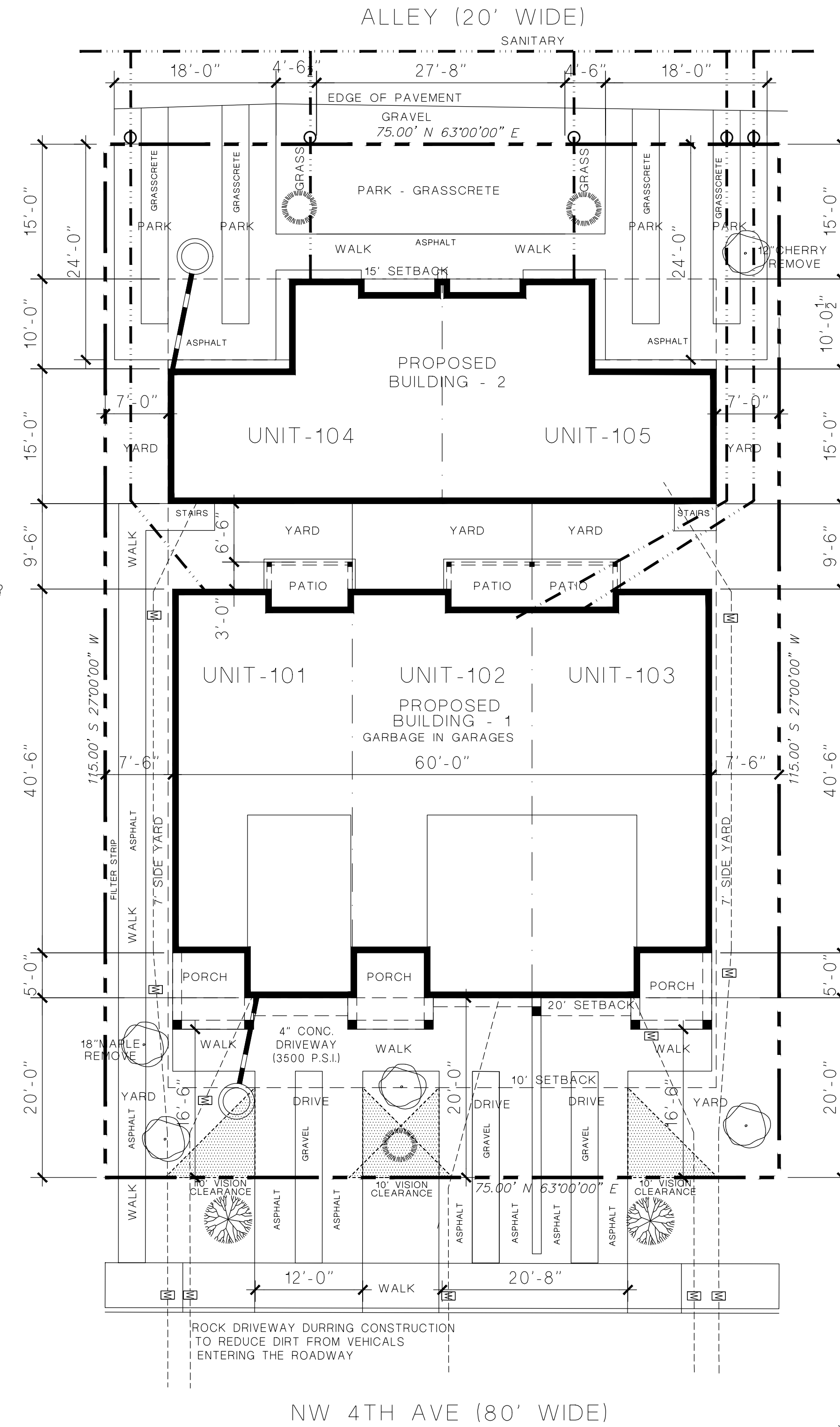
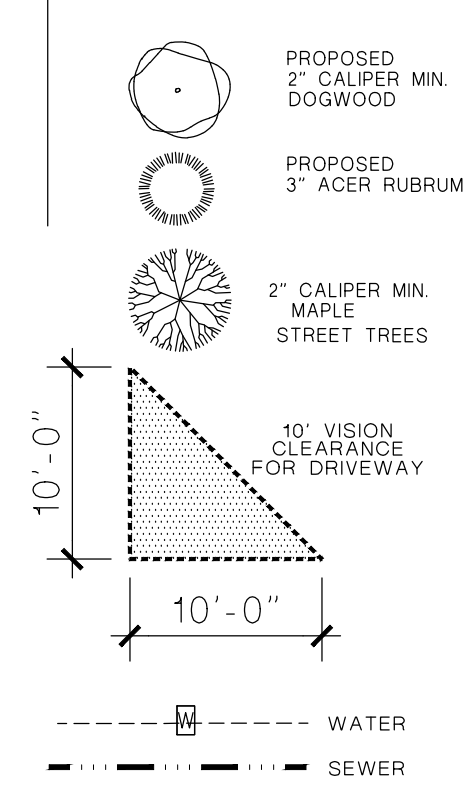
FIRE HYDRANT LOCATIONS
S.W. CORNER OF 4th & FIR : 116' FROM S.E. PROPERTY CORNER
S.W. CORNER OF 4th & ELM : 155' FROM S.W. PROPERTY CORNER

NOTE:
NO FIELD CHANGES WITHOUT APPROVAL BY B.D.S., LAND USE REVIEW STAFF.

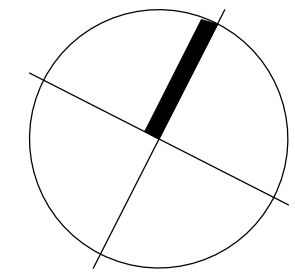
FLAT LOT. NO TOPOGRAPHY SHOWN

SITE INFORMATION SUPPLIED BY CMT CONSTRUCTION MAPPING TEAM

LEGEND



SITE PLAN
SCALE 1" = 10' - 0"



JOB No.	20027
DATE	7-22-2022
SITE	

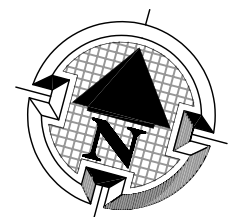
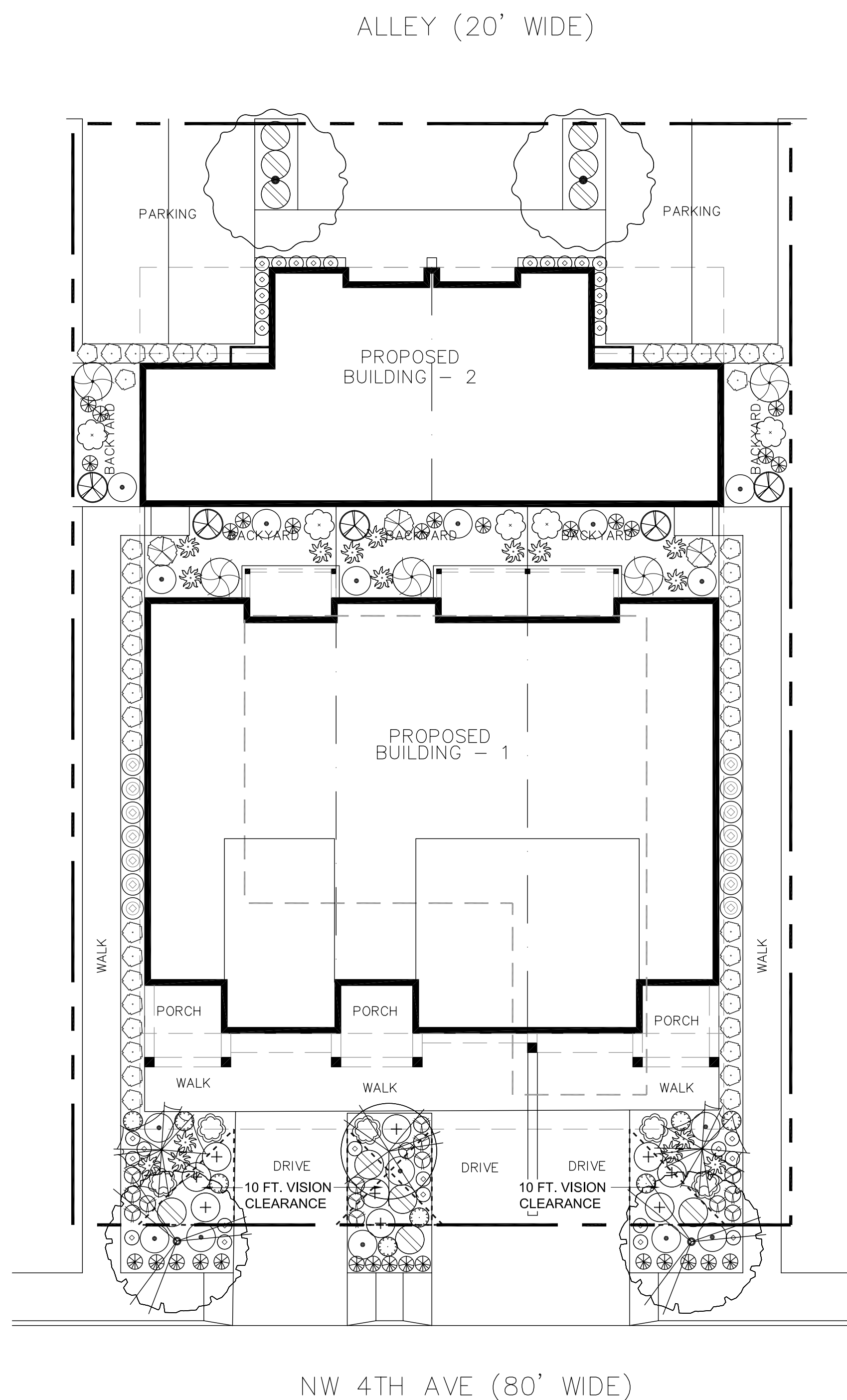
REVISED 1-9-2023
REVISED 5-29-2023

SITE INFORMATION:
CONSTRUCTION ADDRESS:
442 N.W. 4th AVE.
CITY OF CANBY
CLACKAMAS COUNTY

WATSON DESIGN WORKS WILL NOT BE RESPONSIBLE FOR THE TOPOGRAPHY INFORMATION. IT IS THE SOLE RESPONSIBILITY OF THE BUILDER / OWNER TO VERIFY ALL CONDITIONS INCLUDING ANY FIELD PLACED ON THE SITE THAT MAY CAUSE OF ANY POTENTIAL FIELD MODIFICATIONS

BUILDER:
BURKE DEVELOPMENT
1980 WILLAMETTE FALLS DRIVE SUITE 120 PMB 172
WEST LINN, OR. 97068

WATSON DESIGN WORKS, INC.
 1080 NW 20th Drive
 West Linn, OR 97068
 503.544.7777
 thomas@watsondesign.com



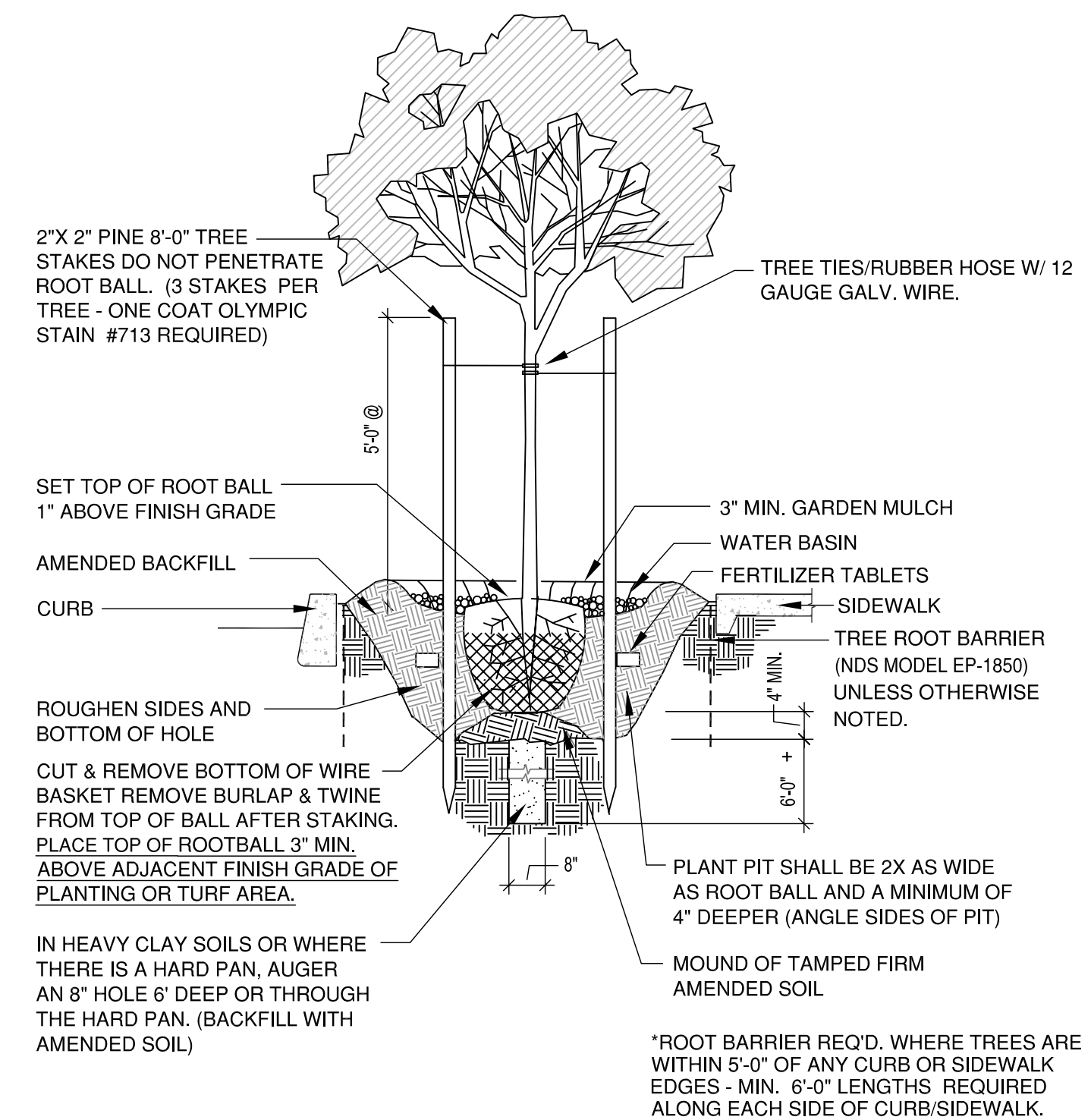
SCALE: 1" = 10'-0"
 10' 5' 0' 10' 20'

PLANT MATERIAL LISTING:					
TREES					
SYMBOL	Botanical name Common Name	Quality	Planted Size	Condition	Mature size
	Acer rubrum 'Bowhall' Bowhall Maple	2	2" Cal.	B&B	40' tall, 15' wide
	Cornus x 'Rutgan' Stellar Pink Dogwood	2	2" Cal.	B&B	20-25' tall, 15-20' wide
	Magnolia grandiflora 'Little Gem' Little Gem Magnolia	1	2" Cal.	B&B	15-20' tall, 8-10' wide
	Pinus flexilis 'Vanderwolf's Pyramid' Vanderwolf's Pyramid Limber Pine	2	6-7"	B&B	20-30' tall, 10-15' wide
	Total Trees	7	caliper measured 6" above ground.		

PLANT MATERIAL LISTING:					
SHRUBS & GRASSES					
SYMBOL	Botanical name Common Name	Quality	Planted Size	Condition	Mature size
	Azalea Encore 'Autumn Chiffon' Autumn Chiffon Azalea	5	2 Gal	Can	2-5' tall, 3' wide
	Azalea x 'Hino-Crimson' Hino-Crimson Azalea	5	2 Gal	Can	2-4' tall, 3-5' wide
	Berberis thunbergii 'Crimson Pygmy' Crimson Pygmy Barberry	9	1 Gal	Can	2' tall, 3' wide
	Berberis thunbergii 'Gold Pillar' Gold Pillar Barberry	48	1 Gal	Can	3-4' tall, 2' wide
	Calamagrostis x acutiflora 'Karl Foerster' Foerster's Feather Reed Grass	14	1 Gal	Can	24" tall & wide
	Chamaecyparis obtusa 'Confucius' Confucius Hinoki Cypress	5	5 Gal	Can	4-6' tall 3-4' wide
	Euonymus fortunei 'Sunrise' Sunrise Wintercreeper	11	2 Gal	Can	3' tall 4' wide
	Hakonechloa macro 'All Gold' All Gold Japanese Forest Grass	30	1 gal	Can	18" tall & wide
	Hemerocallis 'Stella d'oro' Stella d'oro Daylily	8	1 gal	Can	1' tall & wide
	Hydrangea City Mars Cityline Mars Hydrangea	3	2 gal	Can	3-4' tall, 2-3' wide
	Imperata cylindrica 'Rubra' Japanese Blood Grass	33	1 Gal	Can	1' tall 18" wide
	Polystichum munitum Sword Fern	16	1 Gal	Can	3-6' tall & wide
	Rudbeckia 'Little Goldstar' Little Goldstar Daisy	15	1 Gal	Can	18" tall & wide
	Taxus cuspidata 'Nova' Nova Japanese Yew	5	2 Gal	Can	6' tall 3' wide
	Weigela florida 'Bokraspiwi' Spilled Wine Weigela	16	2 Gal	Can	1-2' tall 2-3' wide
	Total Shrubs	223			

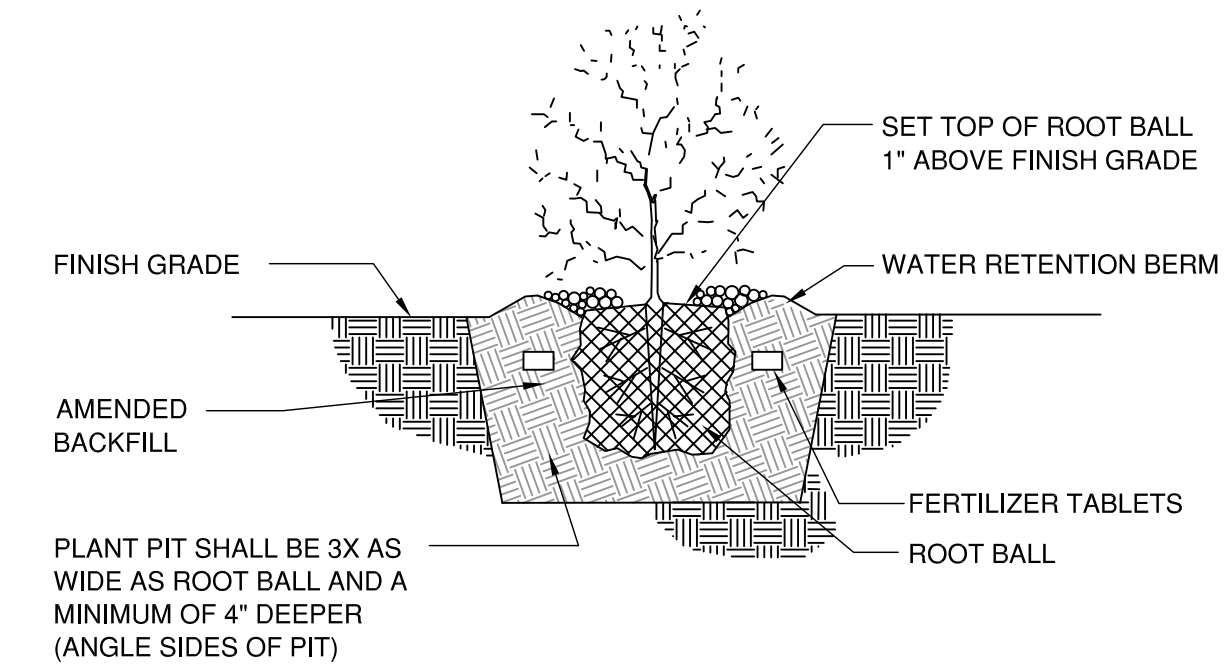
TYPICAL PLANTING NOTES:

- B&B stock may be substituted with container stock of equal grade.
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- Plant material shall conform with American Standard for Nursery Stock, ANSI Z60.1, 2014 edition.
- All trees shall be branched.
- Refer to project technical specification for topsoil requirement. All planting beds shall have a minimum of 18 inches topsoil. Re-use of existing topsoil is recommended, but must meet specifications.
- Garden mulch all planting beds with 3" min. Layer of specified garden mulch.
- In the event of a discrepancy between this material listing and the drawings, the drawings shall govern the plant species and quantities required.
- In the event of question or lack of clarity on drawings, Landscape Contractor is to call Landscape Architect before proceeding.
- Landscape contractor is to notify Landscape Architect prior to installation of plant material to approve final placement.
- Landscape Contractor to verify plant material quantities.
- Contractor will provide a one year warranty on all provided & installed plant material from date of final approval by owner's representative.
- Automatic irrigation to be installed for all new planted areas.



TREE PLANTING DETAIL

N.T.S.



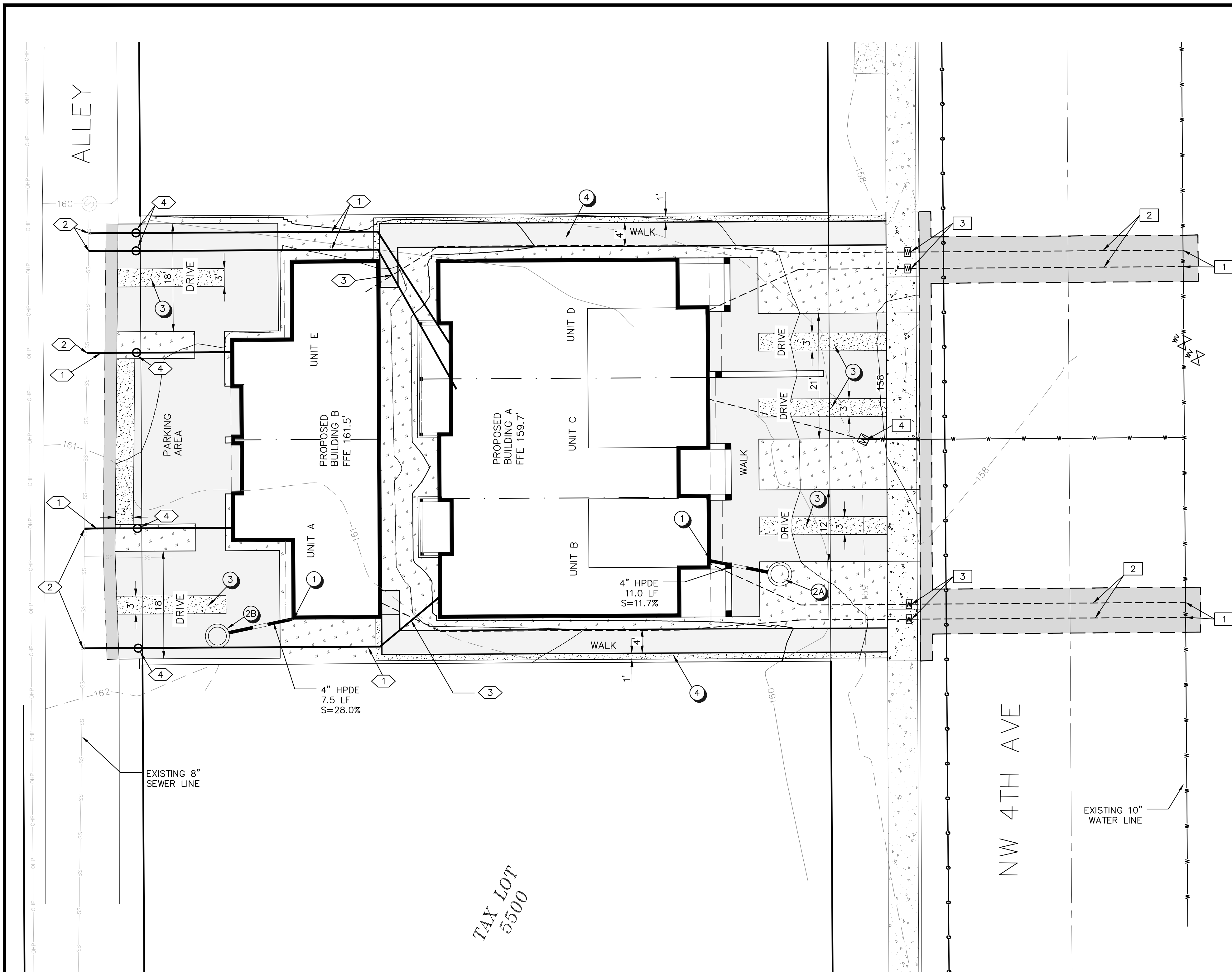
SHRUB PLANTING DETAIL

N.T.S.

REVISIONS		
REV.	DATE	DESCRIPTION

SHEET NAME:
PLANTING PLAN

DRAWN BY: _____ TM
 CHECKED BY: _____ TM
 ISSUE DATE: 10/3/2022
 JOB NO.: 2225



WATER NOTES

- 1 DIRECT TAPS ON EXISTING MAIN SHALL BE 1" MULLER 300 CORPORATION VALVE WITH COPPER COMPRESSION AND CC THREAD PER CANBY UTILITY DETAIL 003. THERE SHALL BE A 6" MIN SEPARATION BETWEEN LINES PER CANBY UTILITY DETAIL 002 AND 003. SEE DETAIL SHEET 6.
- 2 45.5 LF 1" WATER SERVICE LINES SHALL BE (SDR9) 1" MUNICIPEX, (CTS), CONFORMING TO AWWA C-904, ANSI/NSF 61, AND CANBY UTILITY SPECIFICATIONS. PER CANBY UTILITY DETAIL 003. SEE DETAIL SHEET 6
- 3 METER BOX TO BE DWF PLASTICS INC. DWF486WBC-12-1M WITH A MAGNETIC C-4M GREY SOLID METER BOX COVER. 11"x18" POLYMER. PER CANBY UTILITY DETAIL 003. SEE SHEET 6.
- 4 EXISTING PRIVATE WATER SERVICE TO UNIT C. LOCATE METER BOX AS DIRECTED BY THE CITY.

SANITARY SEWER NOTES

- 1 NEW 6" ASTM 3034 PVC SANITARY SEWER SERVICE AT 1% MIN PER CITY OF CANBY DETAIL 301. SEE DETAIL SHEET 6
- 2 NEW TAP ON EXISTING MAIN WITH ROMAC SADDLE PER CITY OF CANBY DETAIL 302 SEE DETAIL SHEET 6
- 3 WATER AND SANITARY SERVICE CROSSINGS TO HAVE A MINIMUM 18" VERTICAL SEPARATION.
- 4 CONSTRUCT CLEAN OUT AT PROPERTY LINE. SEE DETAIL SHEET 6

STORM NOTES

- 1 CONNECT ALL BUILDING DOWNSPOUTS TO 4" DRAIN PIPE TO BE ROUTED TO DRYWELL
- 2 (2) 48" DIAMETER DRYWELLS, 5' EFFECTIVE DEPTH, TO RECEIVE ROOF DRAINS ONLY. SEE DETAIL ON SHEET 7. OWNER SHALL REGISTER DRYWELLS WITH OREGON DEPARTMENT OF ENVIRONMENTAL QUALITY.

DRYWELL A:
 RIM: 159.71'
 4" IE IN: 157.38'
 BASE ELEVATION OF STRUCTURE: 153.71'

DRYWELL B:
 RIM: 161.79'
 4" IE IN: 159.47'
 BASE ELEVATION OF STRUCTURE: 155.79'

- 3 INSTALL 3" WIDE FILTER STRIPS ON CENTER OF EACH DRIVEWAY (TYP). GRADE DRIVEWAY TO LOW POINT ALONG CENTER OF FILTER STRIP. SEE DETAIL ON SHEET 7 AND GRADING PLAN SHEET 4
- 4 INSTALL 1" WIDE GRAVEL SHOULDER ON CONCRETE WALKWAY. GRADE TO SHED STORMWATER TO SHOULDER.

GENERAL NOTES

- 1. ALL PRIVATE UTILITIES TO BE CONSTRUCTED WITH MATERIALS AND IN STALLED IN COMPLIANCE WITH CURRENT VERSION OF OREGON SPECIALITY PLUMBING CODE.

PROPOSED LEGEND

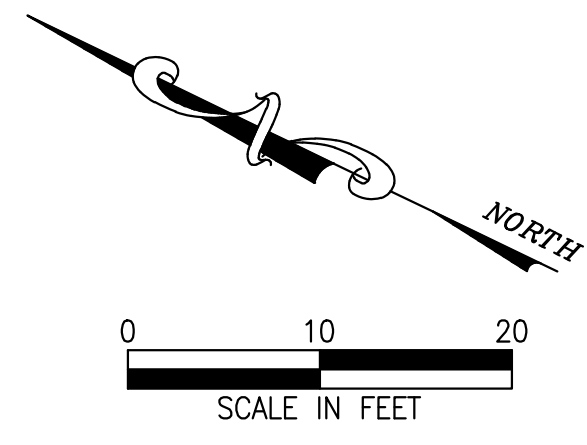
- PROPOSED WATERLINE
- PROPOSED WATER METER
- PROPOSED STORM PIPE
- PROPOSED STORM DRYWELL
- PROPOSED SEWERLINE
- PROPOSED SEWER CLEANOUT
- PROPOSED CURB
- PROPOSED SAWCUT LINE
- PROPOSED CONCRETE WALK
- PROPOSED ASPHALT
- PROPOSED LANDSCAPING AREA
- PROPOSED FILTER STRIP / GRAVEL SHOULDER
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR

AREAS

TOTAL SITE AREA:	8,625 SF
PROPOSED BUILDING AREA:	4,036 SF (47%)
PROPOSED LANDSCAPE AREA	
ON-SITE:	2,284 SF (26%)
ROW:	590 SF
PROPOSED ASPHALT:	
ON-SITE:	2,305 SF (27%)
ROW:	475 SF

LATERAL TABLE

UNIT	PIPE TYPE	LENGTH	SIZE	SLOPE	INVERT AT END	COVER AT END
A	ASTM 3034 PVC	10.6 LF	6"	26.3%	155.73	5.69'
B	ASTM 3034 PVC	11.0 LF	6"	7.5%	153.79	7.97'
C	ASTM 3034 PVC	9.7 LF	6"	6.2%	153.51	6.89'
D	ASTM 3034 PVC	9.6 LF	6"	6.6%	153.54	6.84'
E	ASTM 3034 PVC	10.0 LF	6"	27.0%	155.62	5.23'



EXPIRES: 06/30/23
 SIGNATURE DATE: 09/19/22

9.19.22	1	AREAS ADDED
DATE:	NO.	REVISION

DRAWN:	DESIGNED:	CHECKED:
SCALE: AS SHOWN	DATE: AUG 2022	
PROJECT NO. E21-056		



359 EAST HISTORIC COLUMBIA RIVER HIGHWAY
 TROUTDALE, OREGON 97060
 BUS: (503) 668-3737 ♦ FAX: (503) 668-3788

DON BURKE
 442 NW 4TH AVE
 CANBY OR, 97013

COMPOSITE SITE & UTILITY PLAN
 4TH AVE MULTIFAMILY
 ENGINEERING PLANS

IMPERVIOUS AREA	
4th AVE. DRIVE PADS	576 SQ. FT.
ALLEY PARKING - GRASSCRETE	
SIDEWALK	815 SQ. FT.
BUILDING 1	2955 SQ. FT.
BUILDING 2	1240 SQ. FT.
TOTAL	5,586 SQ. FT.
LOT AREA	8625 SQ. FT.
LOT COVERAGE	64.7%

TREES
 EXISTING TOTAL TREE CALIPER 30"
 ALL TREES TO BE REMOVED
 15" PROPOSED TREES REQUIRED TO REPLACE

EXISTING BUILDING - TO BE REMOVED
 EXISTING RESIDENCE 986 SQ. FT.
 19'-2" TALL

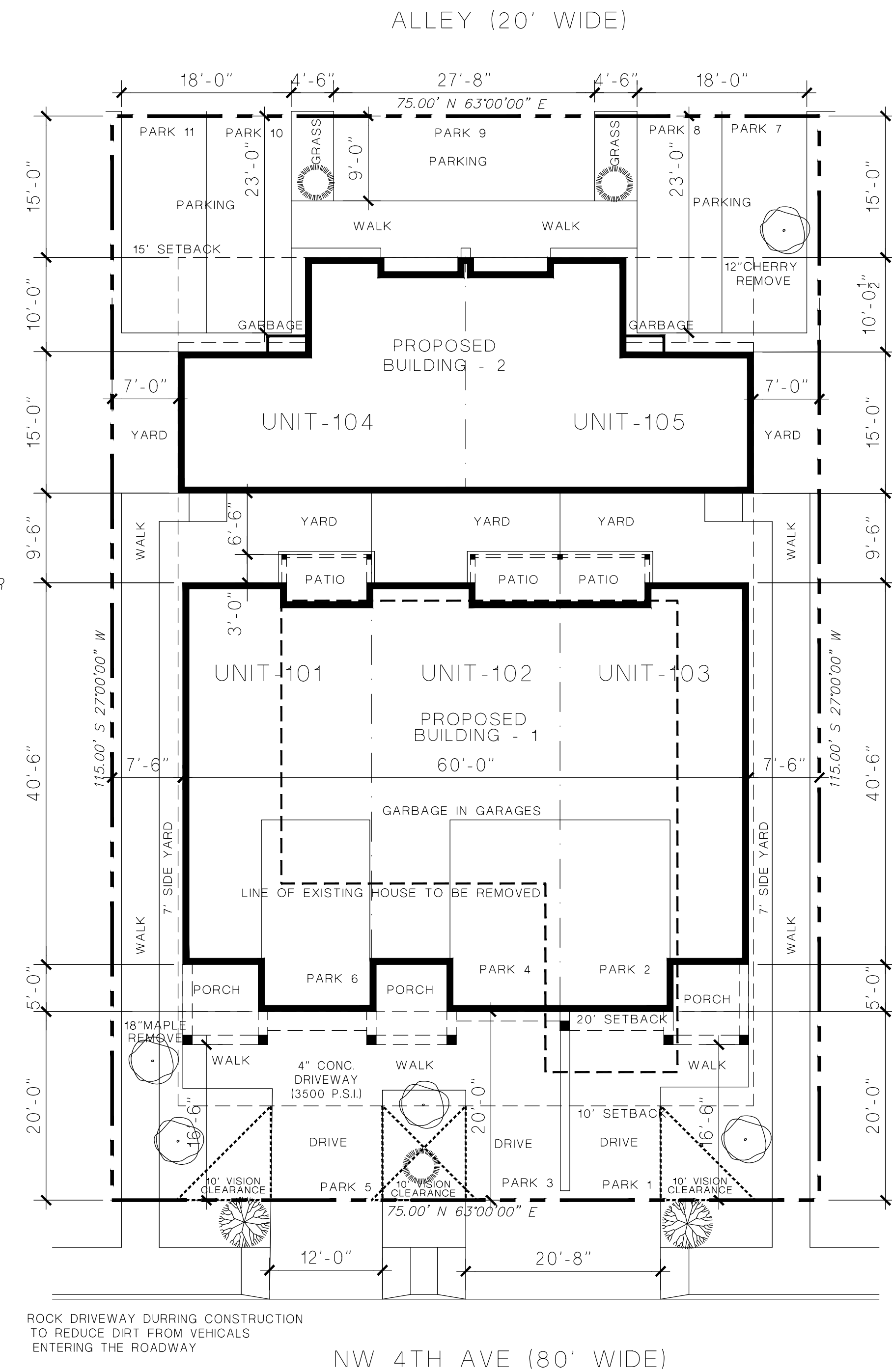
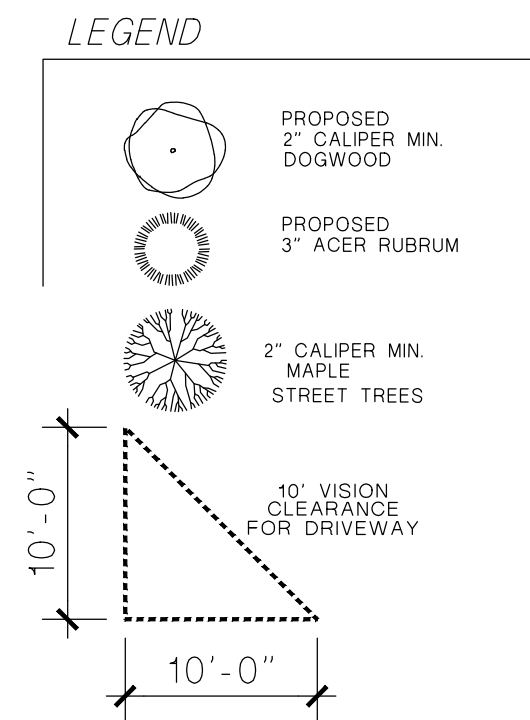
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 BUILDING 1 HEIGHT 32'-2" TALL
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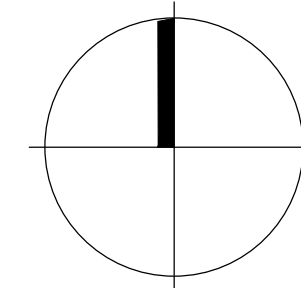
FLAT LOT. NO TOPOGRAPHY SHOWN

SITE INFORMATION SUPPLIED
 BY CMT CONSTRUCTION MAPPING TEAM



ROCK DRIVEWAY DURING CONSTRUCTION
 TO REDUCE DIRT FROM VEHICLES
 ENTERING THE ROADWAY

SITE PLAN
 SCALE 1" = 10'-0"



WATTON DESIGN WORKS, Inc. 1880 Willamette Falls Drive West Linn, OR 97068 thomas@wattondesign.com	JOB No. 20027 DATE 7-22-2022 SITE
	SITE INFORMATION: CONSTRUCTION ADDRESS: 442 N.W. 4th Ave. CITY OF CANBY CLACKAMAS COUNTY
<small>WATTON DESIGN WORKS WILL NOT BE LIABLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE SOLE RESPONSIBILITY OF THE BUILDER/OWNER TO VERIFY ALL SITE CONDITIONS AND TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS ON THE SITE THAT MAY CAUSE OF ANY POTENTIAL FIELD MODIFICATIONS.</small>	
BUILDER: BURKE DEVELOPMENT 1980 WILLAMETTE FALLS DRIVE SUITE 120 PMB 172 WEST LINN, OR. 97068	

ALTHOUGH MUCH CARE HAS GONE INTO THE PREPARATION OF THESE DRAWINGS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION PROVIDED HEREON.

WATTON DESIGN WORKS, Inc.
 1880 Willamette Falls Drive Suite #200-D
 West Linn, Or. 97068
 503.655.1001
 wattondesign.com

PROJECT: MULTI FAMILY - BUILDING A
 BUILDING SITE ADDRESS:
 442 N.W. 4th Ave.
 CITY OF CANBY
 CLACKAMAS COUNTY

EXTERIOR ELEVATIONS
 BUILDER:
BURKE DEVELOPMENT
 1980 WILLAMETTE FALLS DRIVE SUITE 120 PMB 172
 WEST LINN, OR. 97068

SQUARE FOOTAGE	618 S.F.
MAIN AREA	884 S.F.
UPPER AREA	1,502 S.F.
TOTAL AREA	2,299 S.F.
GARAGE AREA	229 S.F.

DATE:
 Est. 9-10-2020
 Rev.

JOB No.
 20077-A

SHEET
1



LEFT ELEVATION
 SCALE: 1/4" = 1'-0"

- SHUTTERS MATERIAL TBD
- CEMENT SHINGLES
- ROOFING MATERIAL (SEE ROOF PLAN)
- G. I. GUTTER ON 2 X 8 FASCIA
 C/W DOWNSPOUTS (SEE ROOF PLAN)
- 5/4 X CEDAR CORNER BDB.
- HORIZONTAL LAP SIDING
- STONE VENEER



FRONT ELEVATION
 SCALE: 1/4" = 1'-0"

ALTHOUGH MUCH CARE HAS GONE INTO THE PREPARATION OF THESE DRAWINGS TO ENSURE THAT THEY ARE CORRECT AND TO THE BEST OF OUR KNOWLEDGE AND BELIEF, WE MAKE NO WARRANTY, EXPRESS OR IMPLIED, AS TO THE ACCURACY, COMPLETENESS, OR FITNESS FOR ANY PARTICULAR PURPOSE OF THESE PLANS. THE USER OF THESE PLANS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE CONSTRUCTION OF THE PROJECT IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE CONSTRUCTION OF THE PROJECT IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE CONSTRUCTION OF THE PROJECT IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.

STRUCTURE TO BE BUILT FROM PERMIT STAMPED PLAN SET ONLY

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 1880 Willamette Falls Drive
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RIGHT ELEVATION
 SCALE : 1/4" = 1'-0"



REAR ELEVATION
 SCALE : 1/4" = 1'-0"

PROJECT:

EXTERIOR ELEVATIONS

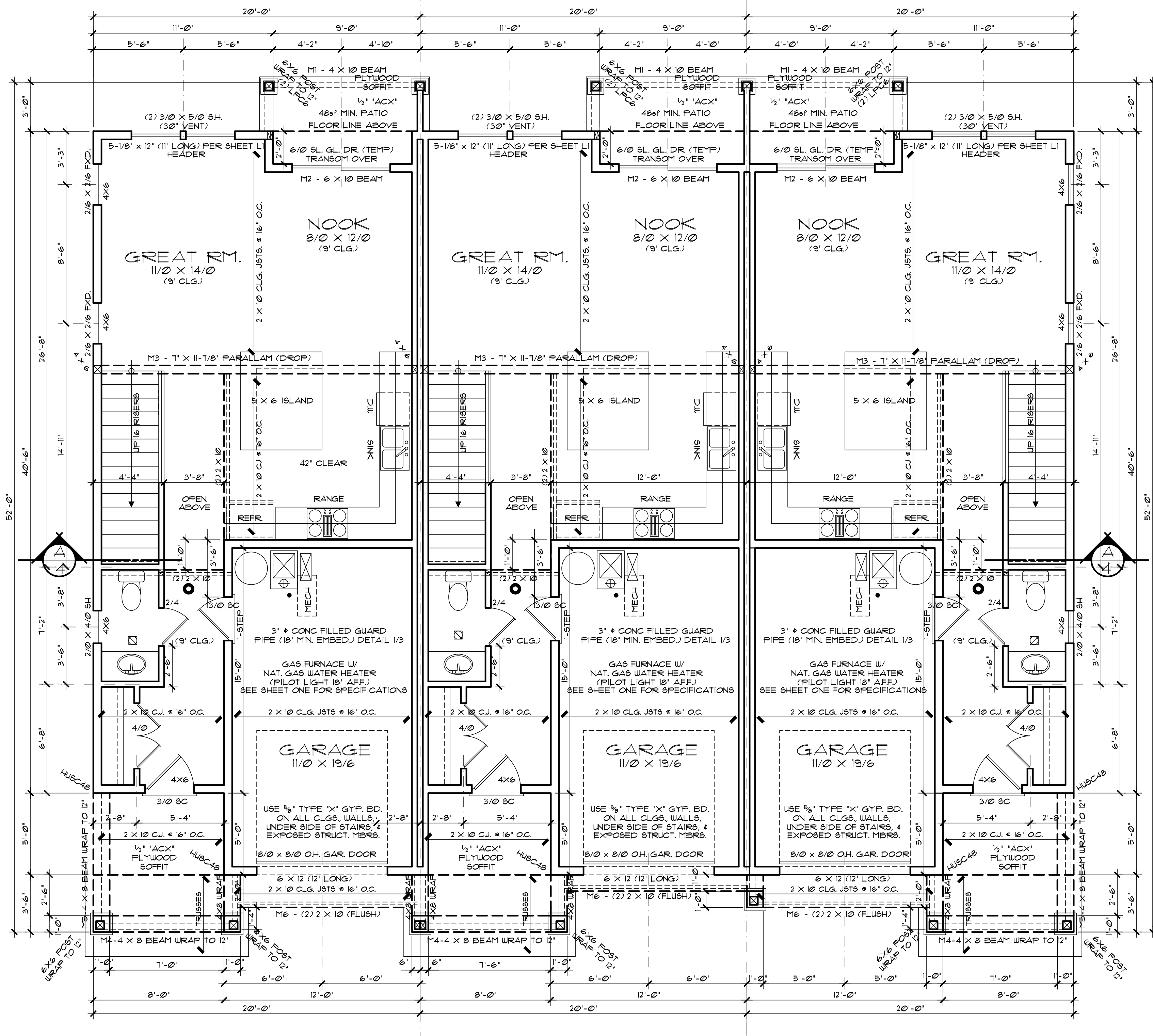
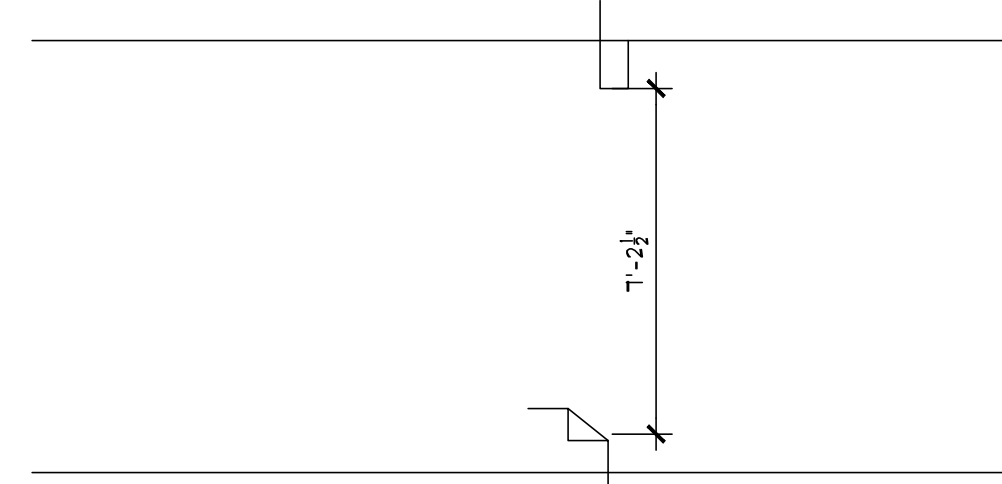
DATE:
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JOB No.

SHEET

2

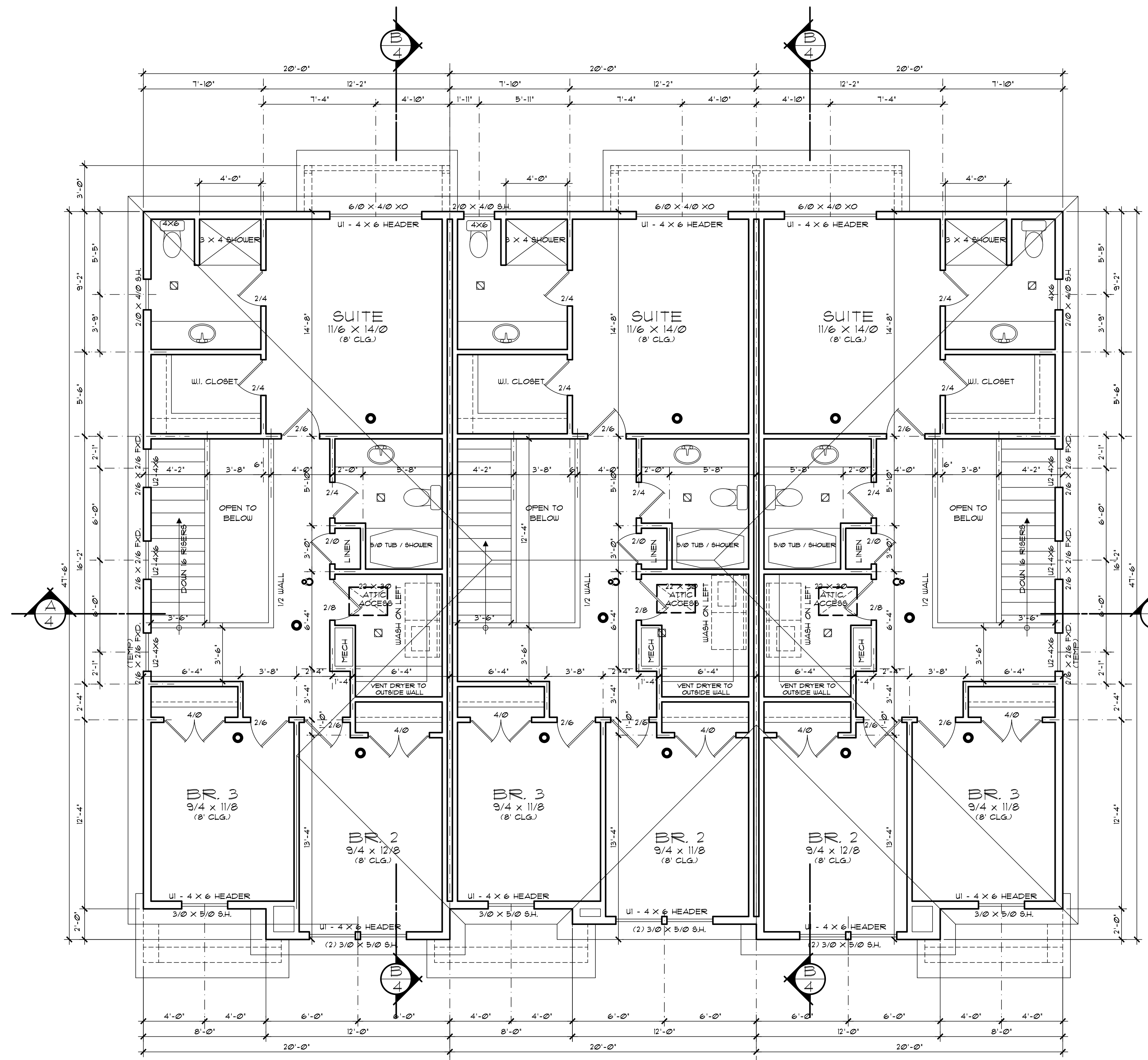
- LEGEND**
- ☐ RECESSED EXHAUST FAN VENTED TO THE EXTERIOR
 - 110 VOLT SMOKE DETECTOR (SEE 'GENERAL NOTES' FOR OTHER SPEC'S)
 - CO DETECTOR TO BE LOCATED WITH IN 15' OF ALL BEDROOM ENTRANCES
 - VERIFY ALL LOCATIONS WITH OWNER BEFORE INSTALLATION
 - SEE RADON ABLIATION REQUIREMENTS SHEET 'R' ATTACHED - ONLY IF APPLIES
 - ▬ STRUCTURAL BEARING WALLS
 - BEARING POINT LOCATION (PROVIDE SOLID BEARING MIN. OF MEMBER WIDTH UNO.)



MAIN FLOOR PLAN
 SCALE: 1/4" = 1'-0"

SEE 'L' SHEETS FOR ADDITIONAL FOUNDATION & FRAMING INFORMATION

- LEGEND**
- ☐ RECESSED EXHAUST FAN VENTED TO THE EXTERIOR
 - 110 VOLT SMOKE DETECTOR (SEE 'GENERAL NOTES' FOR OTHER SPECS)
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 - BEARING POINT LOCATION (PROVIDE SOLID BEARING - MIN. OF MEMBER WIDTH UNO.)



UPPER FLOOR PLAN SEE 'L' SHEETS FOR ADDITIONAL FOUNDATION & FRAMING INFORMATION
 SCALE: 1/4" = 1'-0"



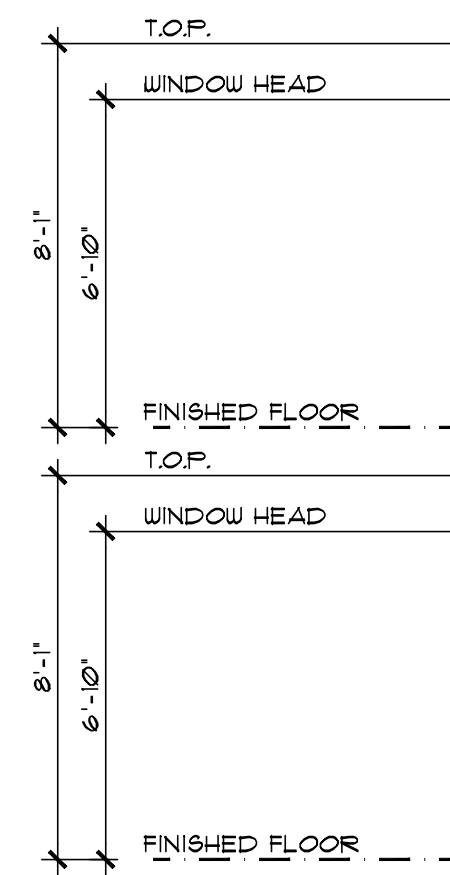
REAR ELEVATION
 SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
 SCALE: 1/4" = 1'-0"



LEFT ELEVATION
 SCALE: 1/4" = 1'-0"



FRONT ELEVATION
 SCALE: 1/4" = 1'-0"

PROJECT: MULTI FAMILY - BUILDING B

BUILDING SITE ADDRESS:
 442 N.W. 4th Ave.
 CITY OF CANBY
 CLACKAMAS COUNTY

EXTERIOR ELEVATIONS

BUILDER:
BURKE DEVELOPMENT
 1980 WILLAMETTE FALLS DRIVE SUITE 120 PMB 172
 WEST LINN, OR. 97068

SQUARE FOOTAGE
 MAIN AREA 615 S.F.
 UPPER AREA 555 S.F.
 TOTAL AREA 1,270 S.F.

DATE:
 Est. 9-10-2020
 Rev.

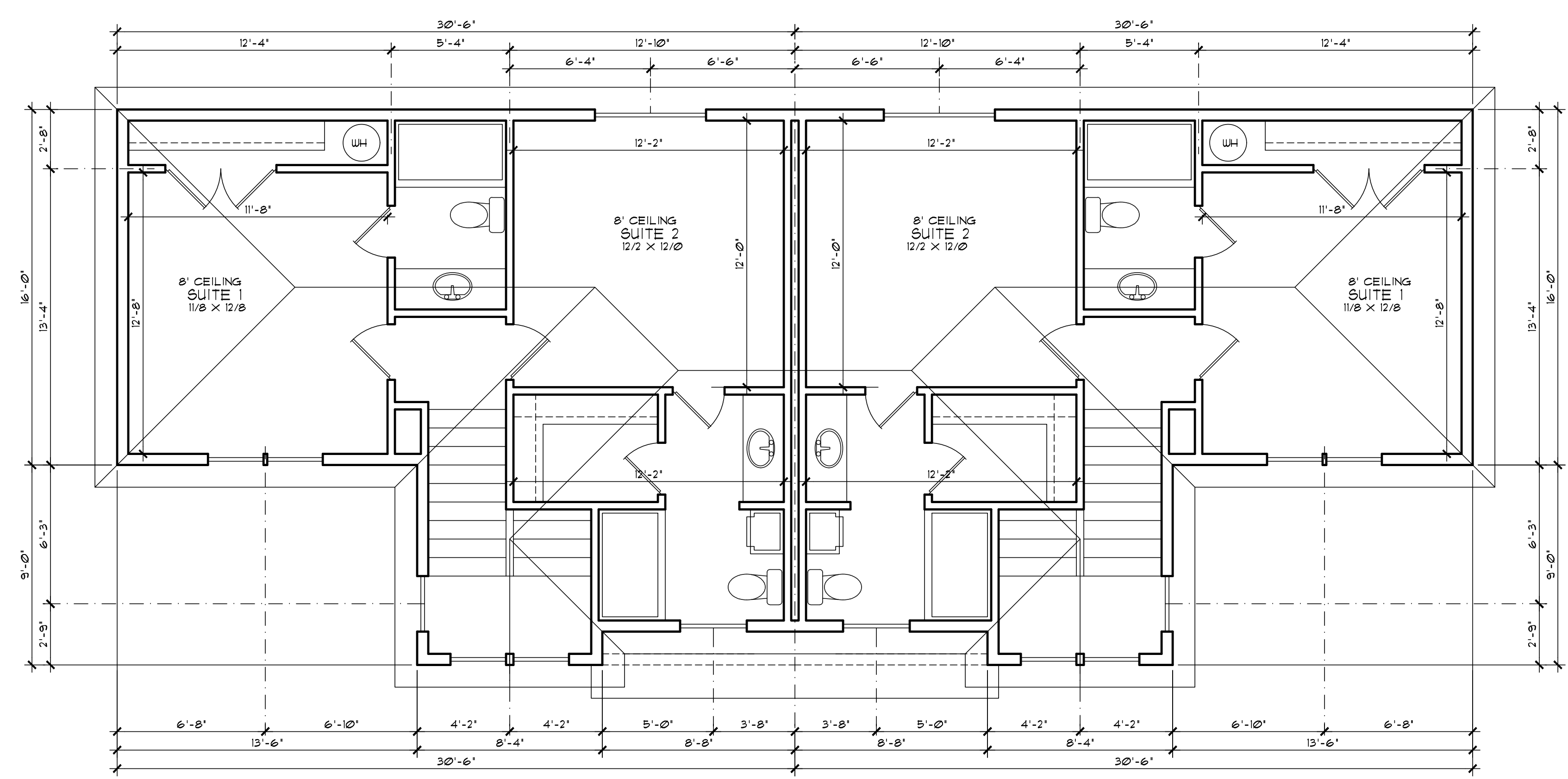
JOB No.
 20077-B

SHEET
1

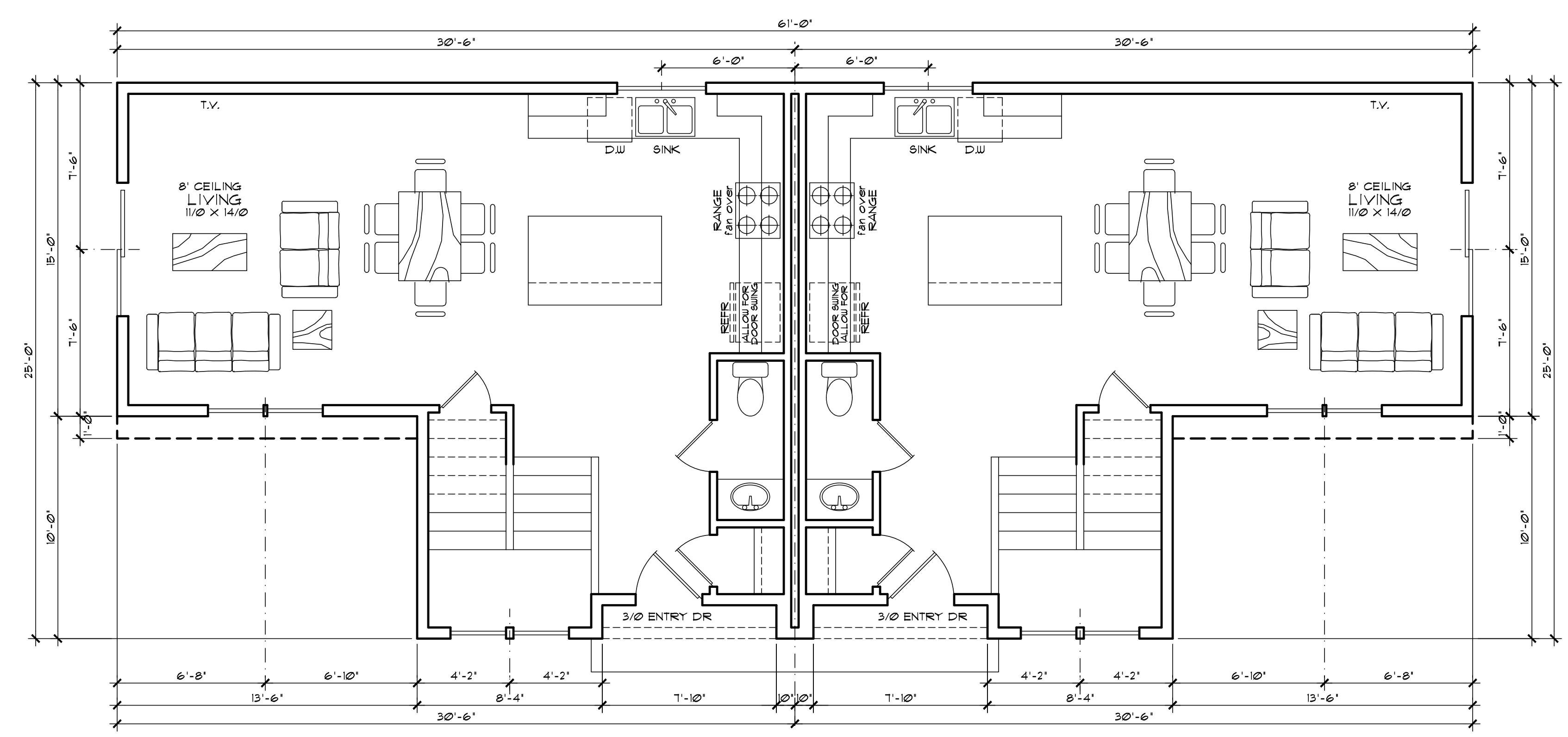
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UPPER FLOOR PLAN
 SCALE : 1/4" = 1'-0"



MAIN FLOOR PLAN
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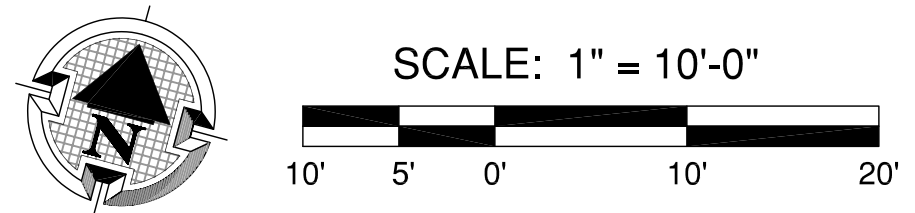
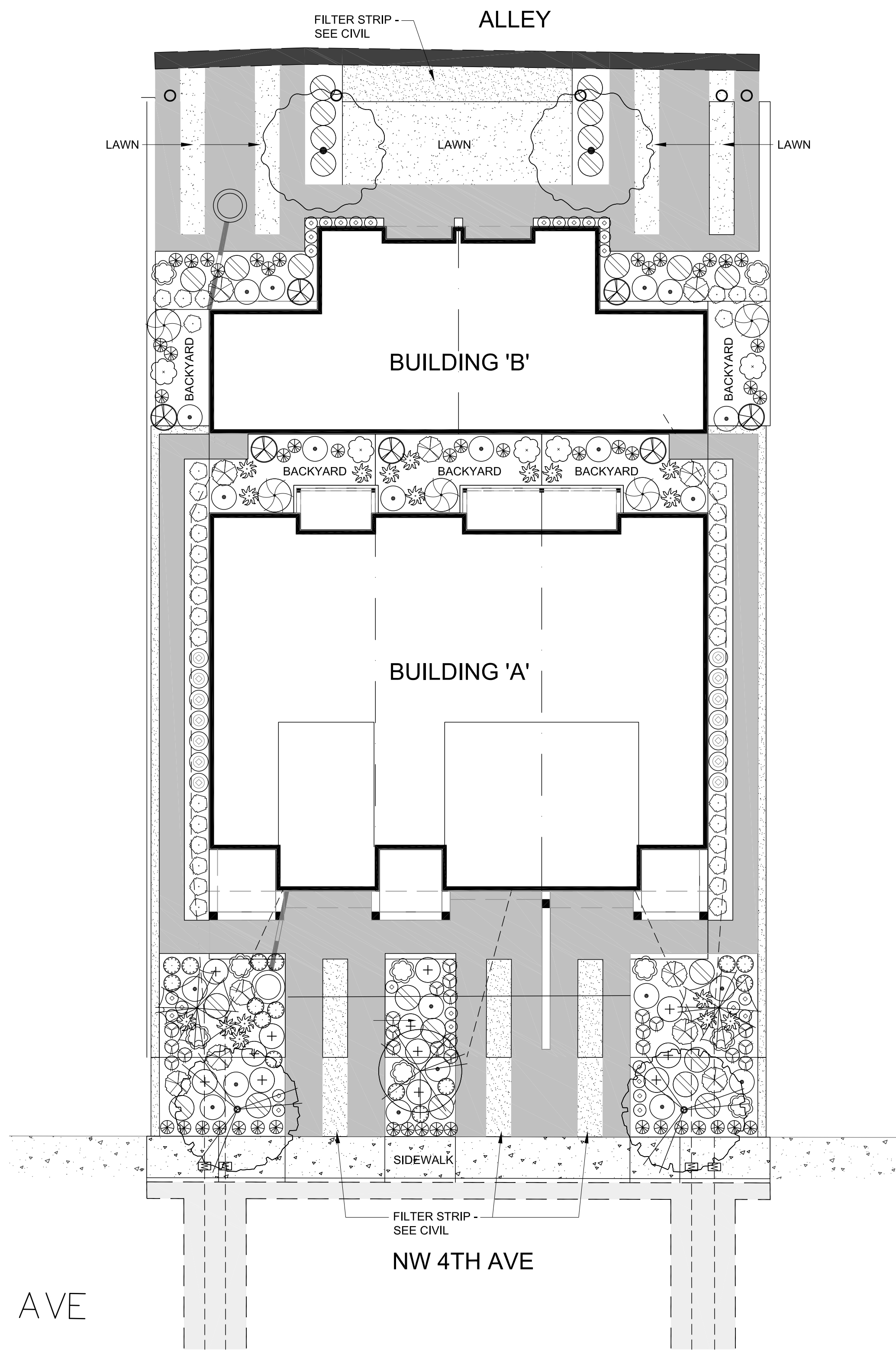
PROJECT:

FLOOR PLANS

DATE:
 Rev.

JOB No.

SHEET
 2

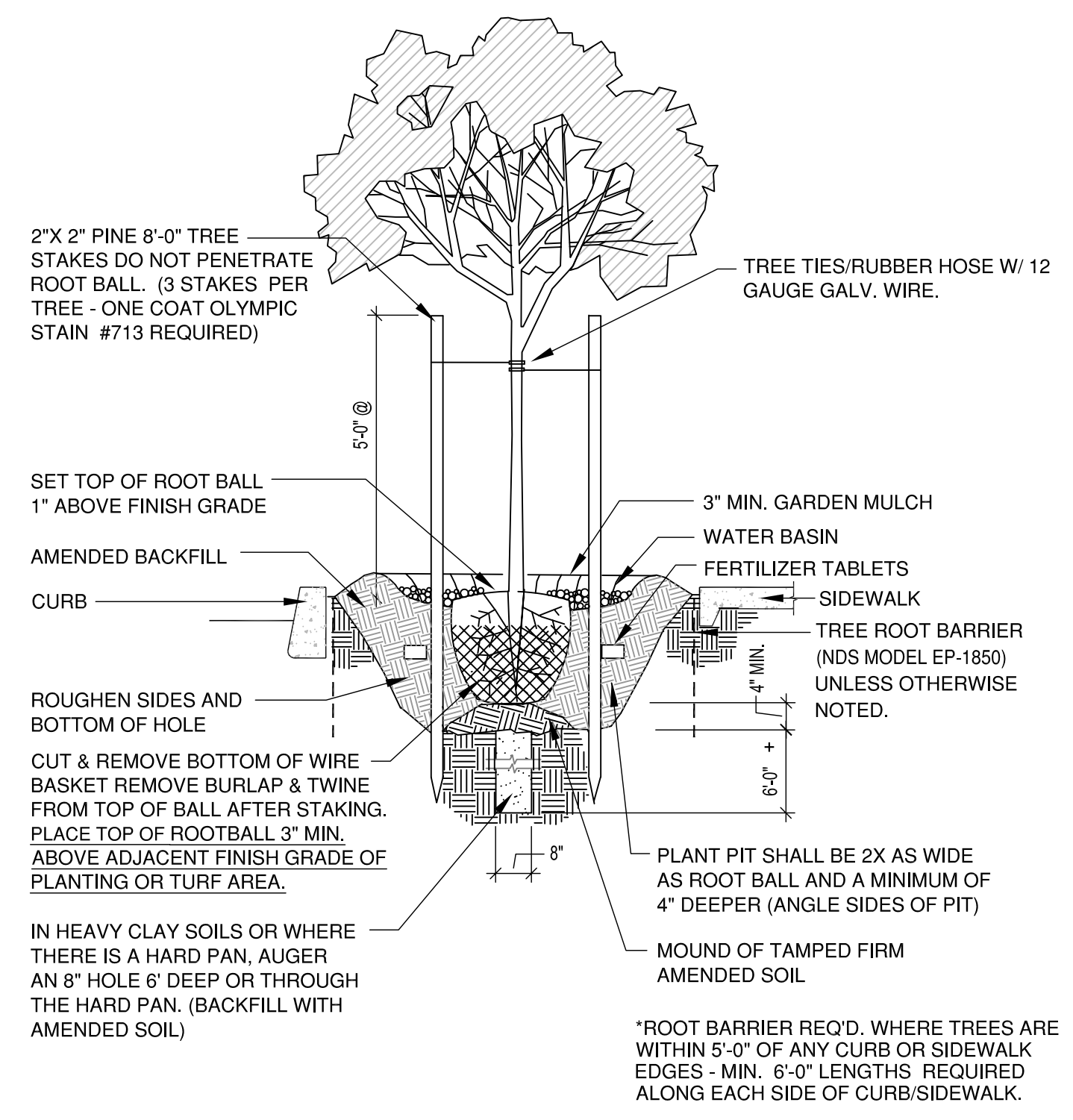


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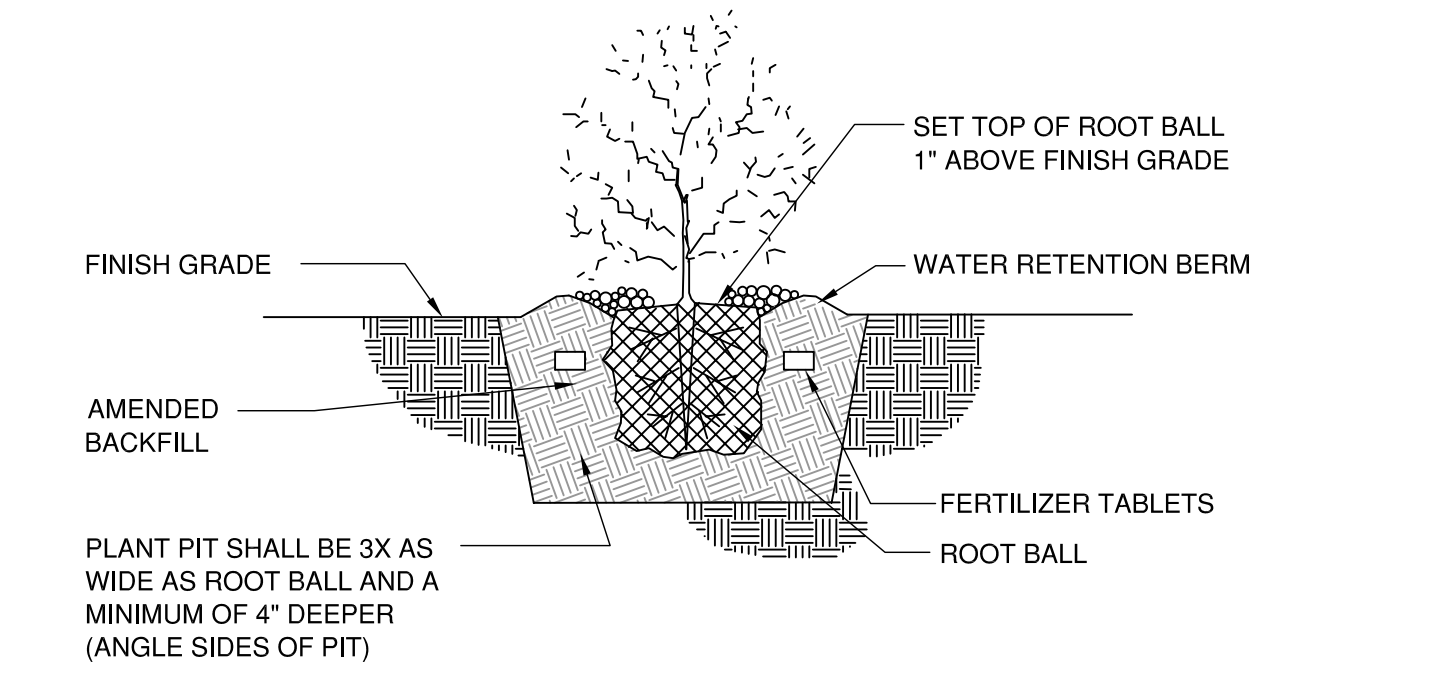
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	Chamaecyparis obtusa 'Confucius' Confucius Hinoki Cypress	5	5 Gal	Can	4-6' tall 3-4' wide
	Euonymus fortunei 'Sunrise' Sunrise Wintercreeper	24	2 Gal	Can	3' tall 4' wide
	Hakonechloa macro 'All Gold' All Gold Japanese Forest Grass	48	1 gal	Can	18" tall & wide
	Hemerocallis 'Stella d'oro' Stella d'oro Daylily	15	1 gal	Can	1' tall & wide
	Hydrangea City Mars Cityline Mars Hydrangea	11	2 gal	Can	3-4' tall, 2-3' wide
	Imperata cylindrica 'Rubra' Japanese Blood Grass	29	1 Gal	Can	1' tall 18" wide
	Polystichum munitum Sword Fern	17	1 Gal	Can	3-6' tall & wide
	Rudbeckia 'Little Goldstar' Little Goldstar Daisy	22	1 Gal	Can	18" tall & wide
	Taxus cuspidata 'Nova' Nova Japanese Yew	7	2 Gal	Can	6' tall 3' wide
	Weigela florida 'Bokraspiwi' Spilled Wine Weigela	22	2 Gal	Can	1-2' tall 2-3' wide
Total Shrubs		278			

SYM	GROUND COVER	Approximate Square Feet (SF)
	Lawn (hydroseed)	517 SF
	(Grasscrete area - Refer to Civil)	

- TYPICAL PLANTING NOTES:**
- B&B stock may be substituted with container stock of equal grade.
 - Container stock may be substituted with B&B stock of equal grade.
 - Plant material shall conform with American Standard for Nursery Stock, ANSI Z60.1, 2014 edition.
 - All trees shall be branched.
 - Refer to project technical specification for topsoil requirement. All planting beds shall have a minimum of 18 inches topsoil. Re-use of existing topsoil is recommended, but must meet specifications.
 - Garden mulch all planting beds with 3" min. Layer of specified garden mulch.
 - In the event of a discrepancy between this material listing and the drawings, the drawings shall govern the plant species and quantities required.
 - In the event of question or lack of clarity on drawings, Landscape Contractor is to call Landscape Architect before proceeding.
 - Landscape contractor is to notify Landscape Architect prior to installation of plant material to approve final placement.
 - Landscape Contractor to verify plant material quantities.
 - Contractor will provide a one year warranty on all provided & installed plant material from date of final approval by owner's representative.
 - Automatic irrigation to be installed for all new planted areas.



TREE PLANTING DETAIL
N.T.S.



SHRUB PLANTING DETAIL
N.T.S.

REVISIONS		
REV.	DATE	DESCRIPTION
1	1/6/2023	City Comments

SHEET NAME:
PLANTING PLAN

DRAWN BY: _____ TM
CHECKED BY: _____ TM
ISSUE DATE: 10/3/2022
JOB NO.: 2225

SHEET:
L101
OF 2

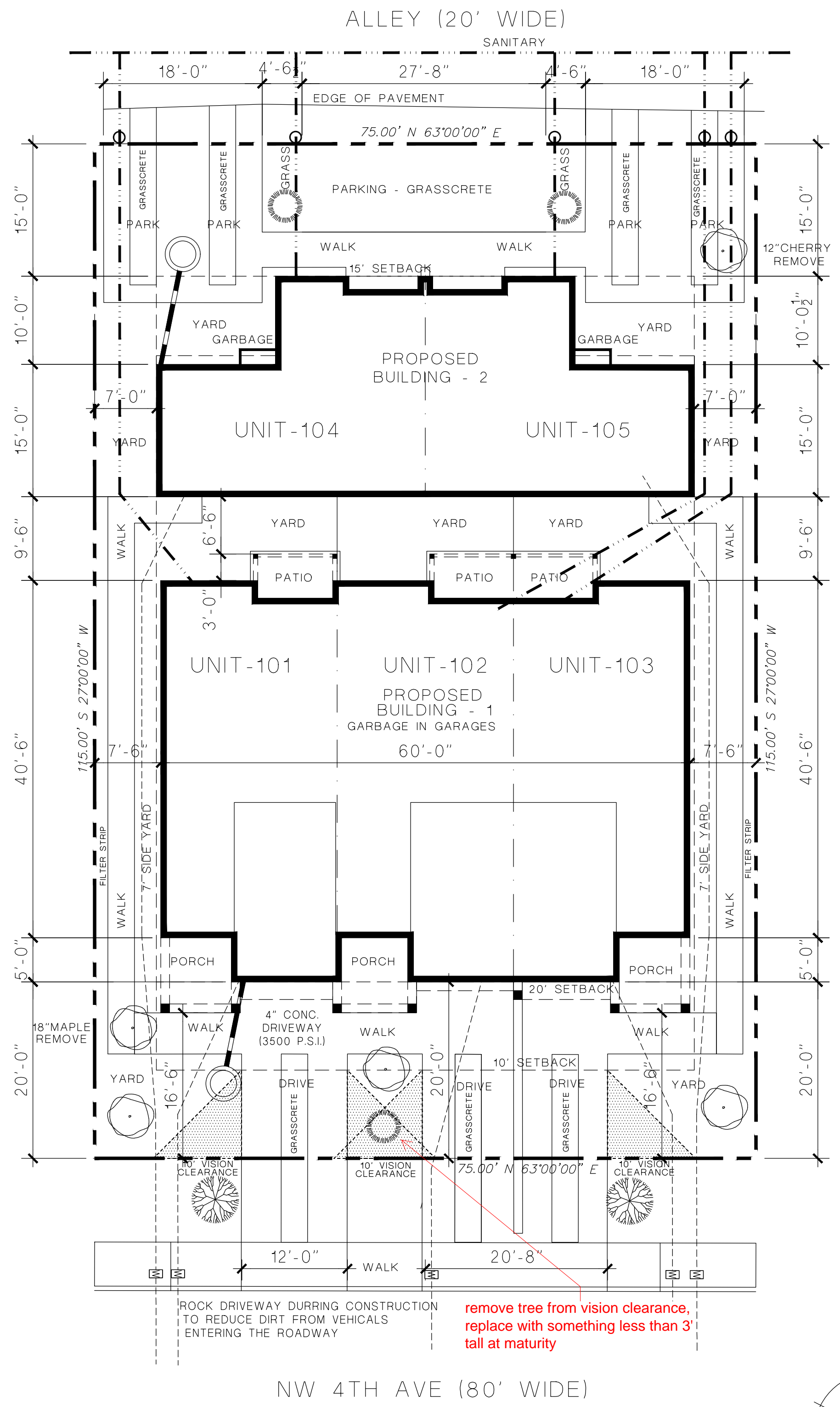
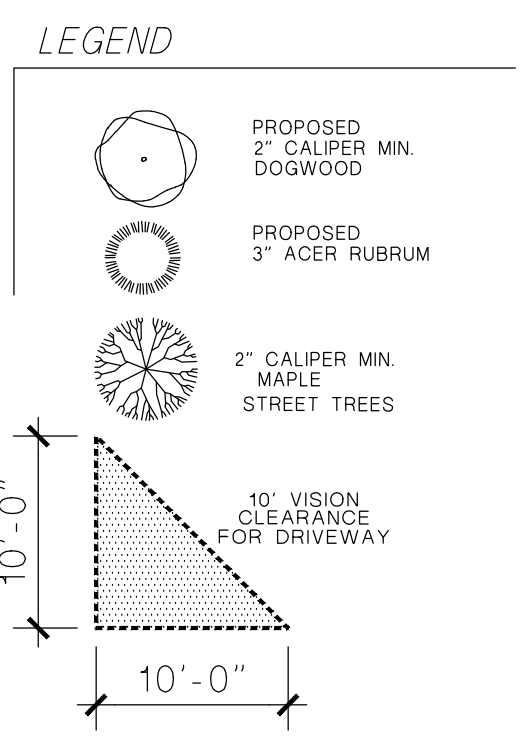
TREES

EXISTING TOTAL TREE CALIPER	30"
ALL TREES TO BE REMOVED	
15" PROPOSED TREES REQUIRED TO REPLACE EXISTING BUILDING - TO BE REMOVED	
EXISTING RESIDENCE	986 SQ. FT. 19'-2" TALL
PROPOSED BUILDINGS	
BUILDING 1 AREA	2965 SQ. FT.
BUILDING 1 HEIGHT	32'-2" TALL
BUILDING 2 AREA	2965 SQ. FT.
BUILDING 2 HEIGHT	25'-1" TALL

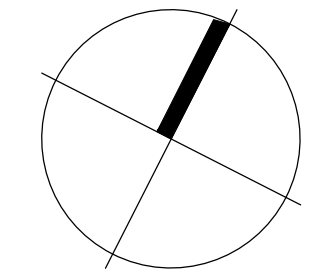
FIRE HYDRANT LOCATIONS
 S.W. CORNER OF 4th & FIR = 116' FROM S.E. PROPERTY CORNER
 S.W. CORNER OF 4th & ELM = 155' FROM S.W. PROPERTY CORNER

NOTE:
 NO FIELD CHANGES WITHOUT APPROVAL BY B.D.S., LAND USE REVIEW STAFF.
 FLAT LOT. NO TOPOGRAPHY SHOWN

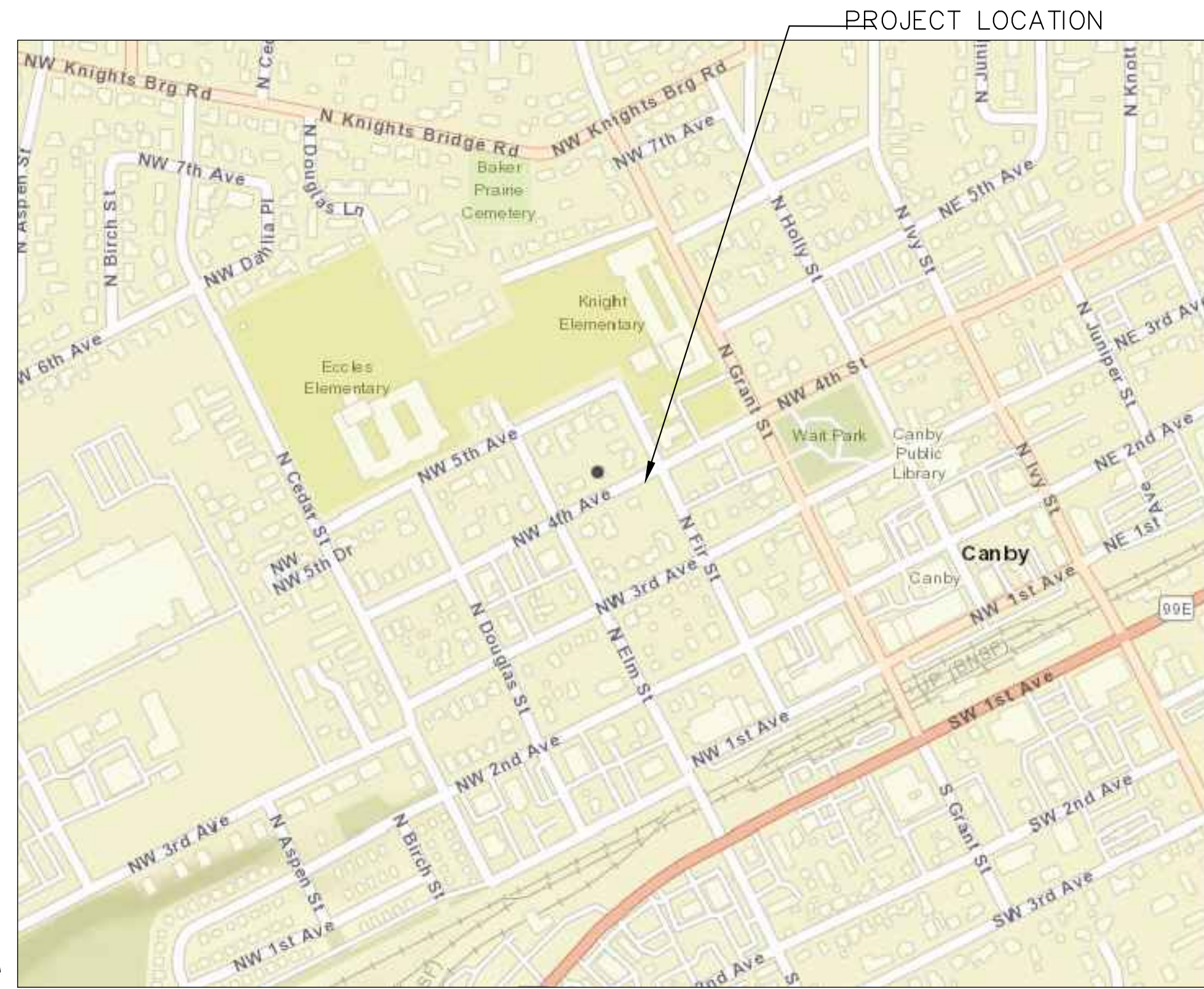
SITE INFORMATION SUPPLIED
 BY CMT CONSTRUCTION MAPPING TEAM



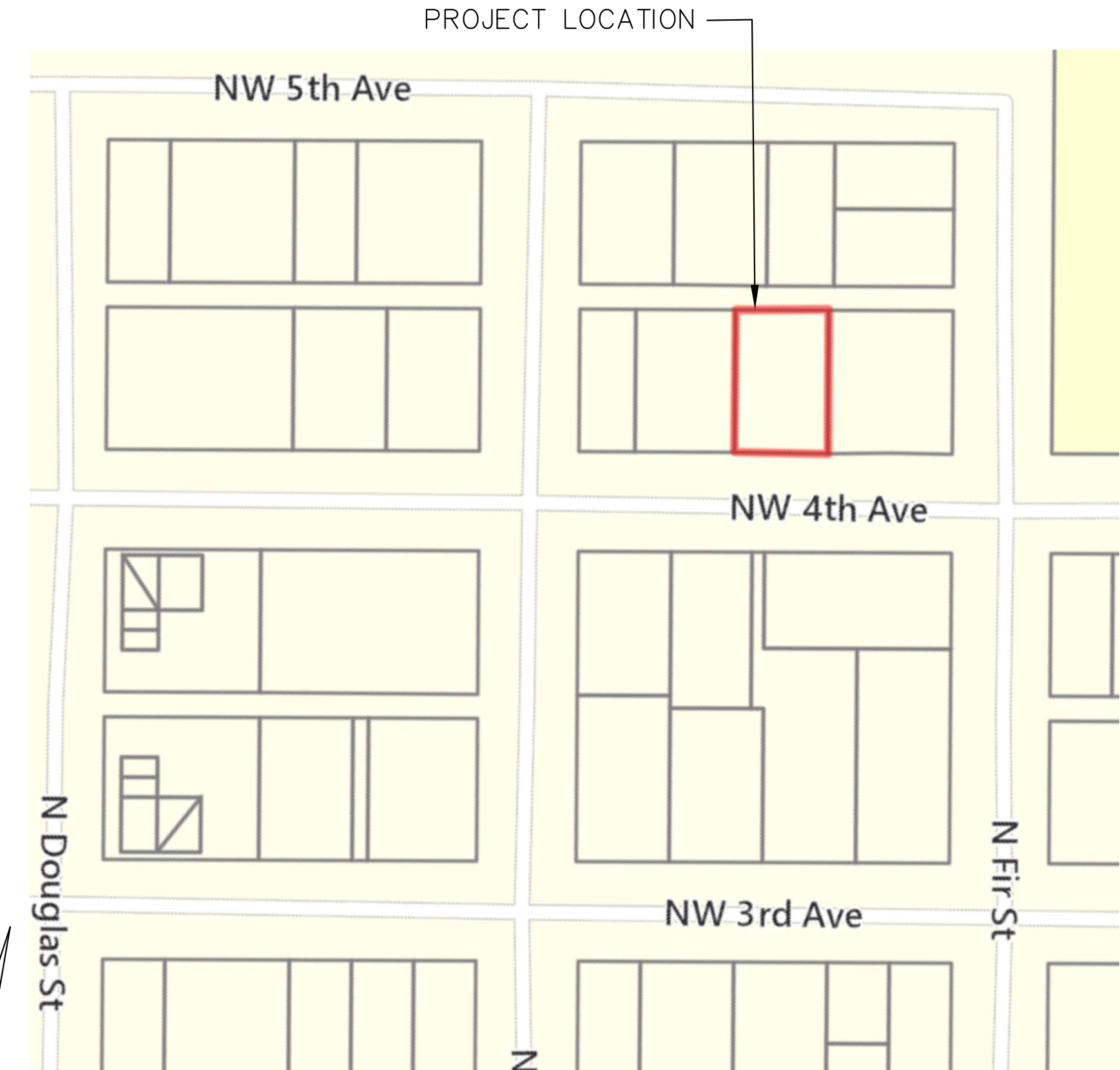
SITE PLAN
 SCALE 1" = 10'-0"



WATTON DESIGN WORKS, Inc. 1880 Willamette Falls Drive West Linn, Or. 97148 thomas@wattondesign.com	BUILDER: BURKE DEVELOPMENT 1980 WILLAMETTE FALLS DRIVE SUITE 120 PMB 172 WEST LINN, OR. 97068	WATTON DESIGN WORKS WILL NOT BE LIABLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREIN. THE SOLE RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION IS THE PROPERTY OWNER'S TO VERIFY ALL SITE AND CONSTRUCTION INFORMATION. WATTON DESIGN WORKS WILL NOT BE RESPONSIBLE FOR ANY POTENTIAL FIELD MODIFICATIONS.	SITE INFORMATION: CONSTRUCTION ADDRESS: 442 N.W. 4th Ave. CITY OF CANBY CLACKAMAS COUNTY	JOB No. 20027 DATE 7-22-2022 SITE
	REVISED 1-9-2023	REVISIONS 1-9-2023	DATE 7-22-2022	DATE 7-22-2022



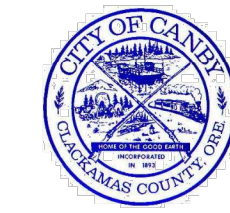
VICINITY MAP
SCALE: 1"=400'



SITE MAP
SCALE: 1"=100'

BURKE MULTI FAMILY

442 NW 4TH AVE. CANBY, OR 97013



CITY OF CANBY
PRE-CONSTRUCTION APPLICATION
SIGNATURE BLOCK

The Signature Block below needs to be on the Cover Page of your drawings. You can resize it, but make sure you give each entity enough room to sign. Please check with the Planning Department to see if additional signature lines are required. Thank you!

GENERAL NOTES:

- ALL WORK AND MATERIALS SHALL CONFORM TO THESE PLANS AND THE APPLICABLE PROVISIONS OF THE CITY OF STANDARDS. IMPROVEMENTS
- IN ORDER TO PROTECT UNDERGROUND FACILITIES, EXCAVATORS PERFORMING THE WORK SET FORTH ON THESE PLANS MUST COMPLY WITH THE PROVISIONS OF ORS 757.557 (REQUIRES CONTRACTOR TO NOTIFY THE OREGON UTILITY NOTIFICATION CENTER AT LEAST 48 HOURS, BUT NOT MORE THAN 10 BUSINESS DAYS, PRIOR TO ANY EXCAVATION).
- THE LOCATION OF EXISTING UTILITIES SHOWN ON THE PLANS IS APPROXIMATE AND SHOWN FOR INFORMATION PURPOSES ONLY. THE CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED PRIOR TO COMMENCING CONSTRUCTION. NOTIFY ENGINEER AND DTD, ENGINEERING OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION. ADDITIONAL UNDERGROUND UTILITIES MAY EXIST.
- VERTICAL DATUM: LOCAL NGS BENCHMARK RD2527 SEE NOTE 3 SHEET 2.
- TOPOGRAPHIC SURVEY BY ; CMT SURVEYING AND CONSULTING
- TRENCHES WITHIN OF RIGHTS-OF-WAY SHALL BE BACKFILLED PER CITY OF CANBY STANDARDS
- TRENCHES OUTSIDE OF RIGHTS-OF-WAY MAY BE BACKFILLED IN ACCORDANCE WITH NATIVE MATERIAL AND COMPACTION SPECIFICATIONS FOR ODOT/APWA CLASS A BACKFILL.
- VEGETATION AND TOPSOIL ARE TO BE STRIPPED TO MINERAL EARTH (AND INSPECTED BY THE CITY) PRIOR TO PLACEMENT OF FILL OR BASE MATERIALS.
- IN ADDITION TO ANY REQUIRED COMPACTION TESTING, THE COUNTY REQUIRES A PROOF ROLL WITH A FULLY LOADED 10-YARD DUMP TRUCK TO CHECK SUBGRADE COMPACTION PRIOR TO PLACEMENT OF ROCK SUBBASE AND AGAIN AT THE COMPLETION OF THE PLACEMENT OF THE BASE ROCK PRIOR TO PAVING THE FIRST LIFT OF ASPHALT.
- ASPHALTIC CONCRETE MIX IS TO BE BATCHED FROM A MIX FORMULA APPROVED BY THE CITY FOR MATERIAL USED. PAVING CONTRACTOR SHALL PROVIDE A CERTIFICATE OF COMPLIANCE FROM ASPHALT PAVEMENT PLANT.
- SUBSEQUENT SETTLEMENT OR CRACKING OF FINISHED SURFACE WITHIN THE WARRANTY PERIOD SHALL BE CONSIDERED TO BE A FAILURE OF THE SUBGRADE AND REPAIRED AT NO COST TO THE CITY AND IN A MANNER ACCEPTABLE TO THE CITY.
- THE CONTRACTOR SHALL CONTROL TRAFFIC THROUGH THE PROJECT SITE IN CONFORMANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, AND OREGON SUPPLEMENTS. THE CONTRACTOR SHALL, AT ALL TIMES, MAINTAIN LOCAL ACCESS FOR EMERGENCY VEHICLES, BUSINESSES, BUSES, AND HOMEOWNERS ALONG THE PROJECT SITE.
- THE CONTRACTOR AND/OR SUB-CONTRACTOR SHALL HAVE A MINIMUM OF ONE (1) SET OF APPROVED CONSTRUCTION PLANS ON THE JOB SITE AT ALL TIMES DURING THE CONSTRUCTION PHASES.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF TREES, STUMPS, BRUSH, ROOTS, TOPSOIL AND OTHER MATERIAL ENCOUNTERED DURING THE CONSTRUCTION OF THE ROADWAY AND WHERE INDICATED ON THE PLANS. MATERIAL SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, REGIONAL AND STATE REGULATIONS AT FACILITIES AUTHORIZED TO ACCEPT SUCH MATERIAL. CONTACT THE CLACKAMAS COUNTY COMMUNITY ENVIRONMENT SECTION AT (503) 742-4400 FOR DISPOSAL OPTIONS.
- CONTRACTOR SHALL COORDINATE AND SCHEDULE ALL EARTHWORK, TRENCH BACKFILL AND ROAD CONSTRUCTION COMPACTION TESTS, AND GEOTECHNICAL REVIEWS WITH THE SOILS TESTING LAB AS REQUIRED FOR ACCEPTANCE OF PROJECT WORK BY THE CITY OF CANBY.
- CONTRACTOR SHALL CAREFULLY MAINTAIN BENCHMARKS, PROPERTY CORNERS, MONUMENTS AND OTHER REFERENCE POINTS PURSUANT TO ORS 209.150.. IF SUCH POINTS ARE DISTURBED OR DESTROYED BY CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND PAY FOR THEIR REPLACEMENT BY EMPLOYING A PROFESSIONAL LAND SURVEYOR TO RESET PROPERTY CORNERS AND OTHER SUCH MONUMENTS.
- EXCESS EXCAVATED MATERIAL SHALL BE HAULED AND DISPOSED OF AT SITES PROVIDED BY THE OWNER AND APPROVED PURSUANT TO A CLACKAMAS COUNTY GRADING PERMIT. FILL SITES SHALL BE LEVELED AND GRADED TO DRAIN. THE CONTRACTOR SHALL CORRECT ANY FILL RELATED CONDITIONS.
- AT THE PRECONSTRUCTION MEETING, PRIOR TO BEGINNING WORK, THE CONTRACTOR SHALL PRESENT A LIST OF SUBCONTRACTORS, A PROJECT SCHEDULE, A TRAFFIC CONTROL PLAN AND A LIST OF AT LEAST 3 PEOPLE, WITH PHONE NUMBERS, RESPONSIBLE FOR MAINTAINING TRAFFIC CONTROL DURING NON-WORK PERIODS.

GENERAL NOTES CONT':

- FINAL CLEANUP – PRIOR TO FINAL ACCEPTANCE AND PAYMENT, THE CONTRACTOR SHALL CLEAN THE WORK SITE AND ADJACENT AREAS OF ANY DEBRIS, DISCARDED ASPHALTIC CONCRETE MATERIAL OR OTHER ITEMS DEPOSITED BY THE CONTRACTORS PERSONNEL DURING THE PERFORMANCE OF THIS CONTRACT.
- THE LOCATION OF ABOVE GROUND IMPROVEMENTS (EXISTING AND PROPOSED) SHALL NOT CONFLICT WITH THE REQUIRED SIDEWALK WIDTHS, ROADWAY IMPROVEMENTS, AND REQUIRED SIGHT DISTANCE.

APPROVED FOR CONSTRUCTION BY	DATE	WITH CHANGES NOTED
PUBLIC WORKS DEPT		<input type="checkbox"/>
CANBY EROSION CONTROL		<input type="checkbox"/>
CANBY UTILITY-WATER		<input type="checkbox"/>
CANBY UTILITY-ELECTRIC		<input type="checkbox"/>
CANBY TELCOM		<input type="checkbox"/>
CANBY STORMWATER		<input type="checkbox"/>
NW NATURAL GAS		<input type="checkbox"/>
CANBY FIRE DIST		<input type="checkbox"/>
CITY ENGINEER		<input type="checkbox"/>
PLANNING DEPT		<input type="checkbox"/>
WAVE BROADBAND		<input type="checkbox"/>
WASTEWATER TREATMENT PLANT (REQUIRED FOR ALL COMMERCIAL & INDUSTRIAL PROJECTS)		<input type="checkbox"/>

SIGNATURES BELOW MAY BE REQUIRED FOR CERTAIN PROJECTS		
CANBY AREA TRANSIT		<input type="checkbox"/>
CLACKAMAS COUNTY TRANSPORTATION		<input type="checkbox"/>
ODOT		<input type="checkbox"/>

PROPOSED LEGEND

- PROPOSED WATERLINE
- PROPOSED WATER METER
- PROPOSED STORM PIPE
- PROPOSED STORM DRYWELL
- PROPOSED SEWERLINE
- PROPOSED SEWER CLEANOUT
- PROPOSED CURB
- PROPOSED SAWCUT LINE
- PROPOSED CONCRETE WALK
- PROPOSED ASPHALT
- PROPOSED LANDSCAPING AREA
- PROPOSED FILTER STRIP / GRAVEL SHOULDER
- PROPOSED MAJOR CONTOUR

SHEET INDEX

- COVER SHEET & NOTES
- EXISTING CONDITIONS & DEMO PLAN
- COMPOSITE SITE & UTILITY PLAN
- SITE GRADING & ESC PLAN
- ESC DETAILS & NOTES
- DETAILS - SEWER & WATER
- DETAILS - STREET & STORM

OWNER

BURKE DEVELOPMENT
1980 WILLAMETTE FALLS DRIVE SUITE 120
WEST LINN, OR 97068
PHONE: (503) 572-8522
EMAIL: admin@burkedevopments.net

PROJECT ENGINEER

KELLI A. GROVER, P.E.
FIRWOOD DESIGN GROUP, LLC
359 E. HISTORIC COLUMBIA RIVER HWY.
TROUTDALE, OR 97060
PHONE: (503) 668-3737
EMAIL: kg@firwooddesign.com

PROJECT SURVEYOR

DAVID RODGER, PLS
CMT SURVEYING AND CONSULTING
20330 SE HIGHWAY 212
DAMASCUS, OR, 97089
PHONE: (503) 850-4590



EXPIRES: 06/30/23
SIGNATURE DATE: 12/27/22

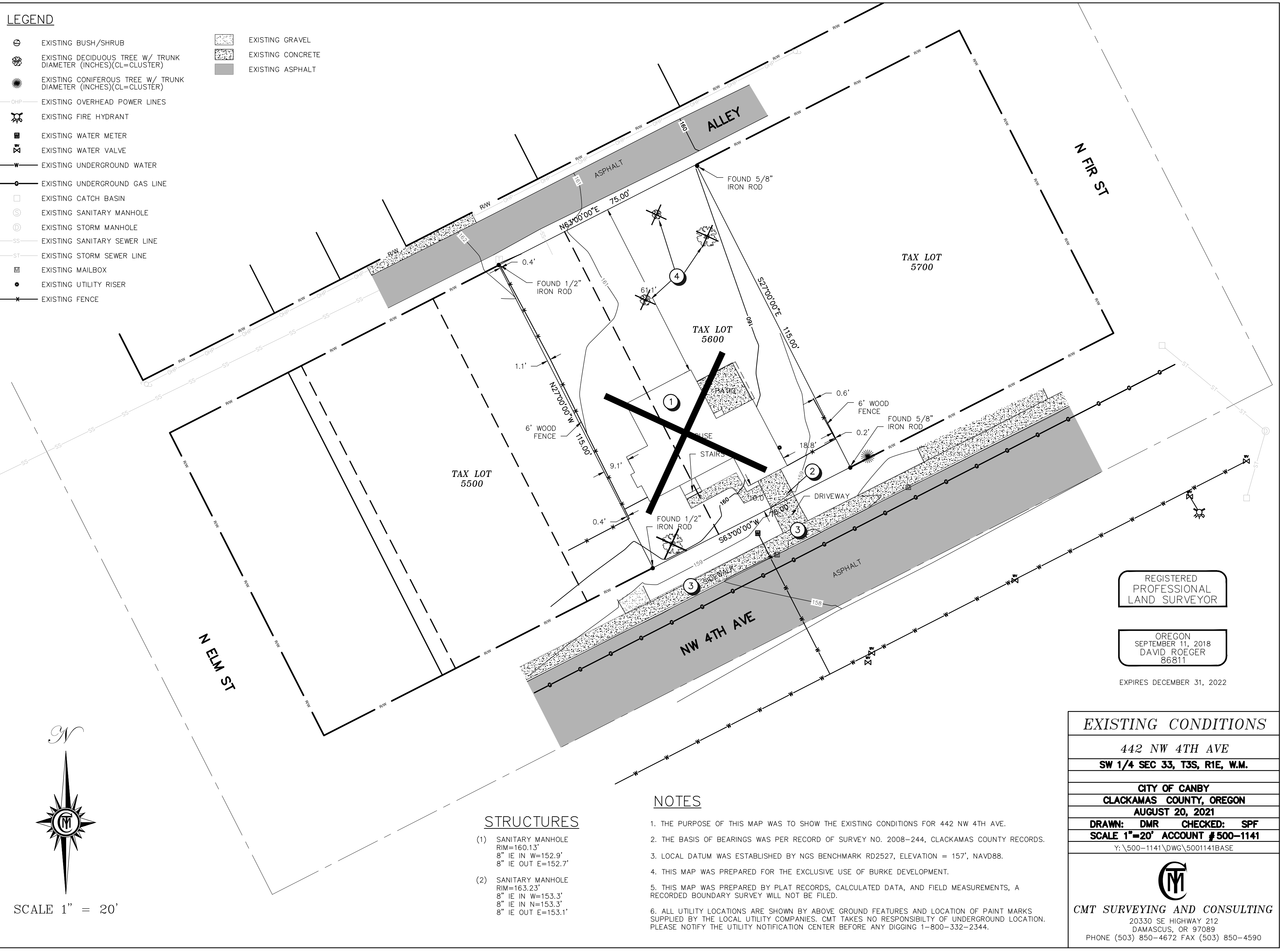
DATE	NO.	REVISION
9.19.22	1	AREAS ADDED
12.27.22	2	LANDSCAPE CHANGES

DRAWN:	DESIGNED:	CHECKED:
SCALE: AS SHOWN	DATE: AUG 2022	
PROJECT NO. E21-056		

FIRWOOD
DESIGN GROUP
359 EAST HISTORIC COLUMBIA RIVER HIGHWAY
TROUTDALE, OREGON 97060
BUS: (503) 668-3737 ♦ FAX: (503) 668-3788

DON BURKE
442 NW 4TH AVE
CANBY OR, 97013

COVER SHEET & NOTES
4TH AVE MULTIFAMILY
ENGINEERING PLANS

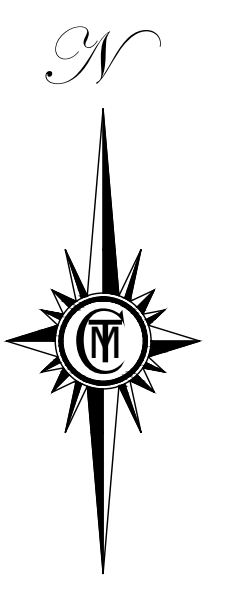


LEGEND

- ⊙ EXISTING BUSH/SHRUB
- ⊙ EXISTING DECIDUOUS TREE W/ TRUNK DIAMETER (INCHES)(CL=CLUSTER)
- ⊙ EXISTING CONIFEROUS TREE W/ TRUNK DIAMETER (INCHES)(CL=CLUSTER)
- OHP — EXISTING OVERHEAD POWER LINES
- ⊙ EXISTING FIRE HYDRANT
- ⊙ EXISTING WATER METER
- ⊙ EXISTING WATER VALVE
- W — EXISTING UNDERGROUND WATER
- G — EXISTING UNDERGROUND GAS LINE
- EXISTING CATCH BASIN
- ⊙ EXISTING SANITARY MANHOLE
- ⊙ EXISTING STORM MANHOLE
- SS — EXISTING SANITARY SEWER LINE
- ST — EXISTING STORM SEWER LINE
- ⊙ EXISTING MAILBOX
- EXISTING UTILITY RISER
- F — EXISTING FENCE
- ▨ EXISTING GRAVEL
- ▨ EXISTING CONCRETE
- ▨ EXISTING ASPHALT

DEMO NOTES

- ① EXISTING HOUSE AND RELATED FEATURES TO BE DEMOLISHED UNDER CITY PERMIT.
- ② EXISTING DRIVEWAY TO BE REMOVED
- ③ EXISTING SIDEWALK TO BE REMOVED AS NECESSARY FOR PROPOSED DRIVEWAY APRONS. REMOVE IN COMPLETE PANELS.
- ④ REMOVE ONSITE TREES (TYP)



SCALE 1" = 20'

STRUCTURES

- (1) SANITARY MANHOLE
RIM=160.13'
8" IE IN W=152.9'
8" IE OUT E=152.7'
- (2) SANITARY MANHOLE
RIM=163.23'
8" IE IN W=153.3'
8" IE IN N=153.3'
8" IE OUT E=153.1'

NOTES

1. THE PURPOSE OF THIS MAP WAS TO SHOW THE EXISTING CONDITIONS FOR 442 NW 4TH AVE.
2. THE BASIS OF BEARINGS WAS PER RECORD OF SURVEY NO. 2008-244, CLACKAMAS COUNTY RECORDS.
3. LOCAL DATUM WAS ESTABLISHED BY NGS BENCHMARK RD2527, ELEVATION = 157', NAVD88.
4. THIS MAP WAS PREPARED FOR THE EXCLUSIVE USE OF BURKE DEVELOPMENT.
5. THIS MAP WAS PREPARED BY PLAT RECORDS, CALCULATED DATA, AND FIELD MEASUREMENTS, A RECORDED BOUNDARY SURVEY WILL NOT BE FILED.
6. ALL UTILITY LOCATIONS ARE SHOWN BY ABOVE GROUND FEATURES AND LOCATION OF PAINT MARKS SUPPLIED BY THE LOCAL UTILITY COMPANIES. CMT TAKES NO RESPONSIBILITY OF UNDERGROUND LOCATION. PLEASE NOTIFY THE UTILITY NOTIFICATION CENTER BEFORE ANY DIGGING 1-800-332-2344.

REGISTERED PROFESSIONAL LAND SURVEYOR

OREGON
SEPTEMBER 11, 2018
DAVID ROEGER
86811

EXPIRES DECEMBER 31, 2022

EXISTING CONDITIONS

442 NW 4TH AVE
SW 1/4 SEC 33, T3S, R1E, W.M.
CITY OF CANBY
CLACKAMAS COUNTY, OREGON
AUGUST 20, 2021
DRAWN: DMR CHECKED: SPF
SCALE 1"=20' ACCOUNT # 500-1141
Y:\500-1141\DWG\5001141BASE



CMT SURVEYING AND CONSULTING
20330 SE HIGHWAY 212
DAMASCUS, OR 97089
PHONE (503) 850-4672 FAX (503) 850-4590

9.19.22	1	AREAS ADDED
12.27.22	2	LANDSCAPE CHANGES
DATE:	NO.	REVISION

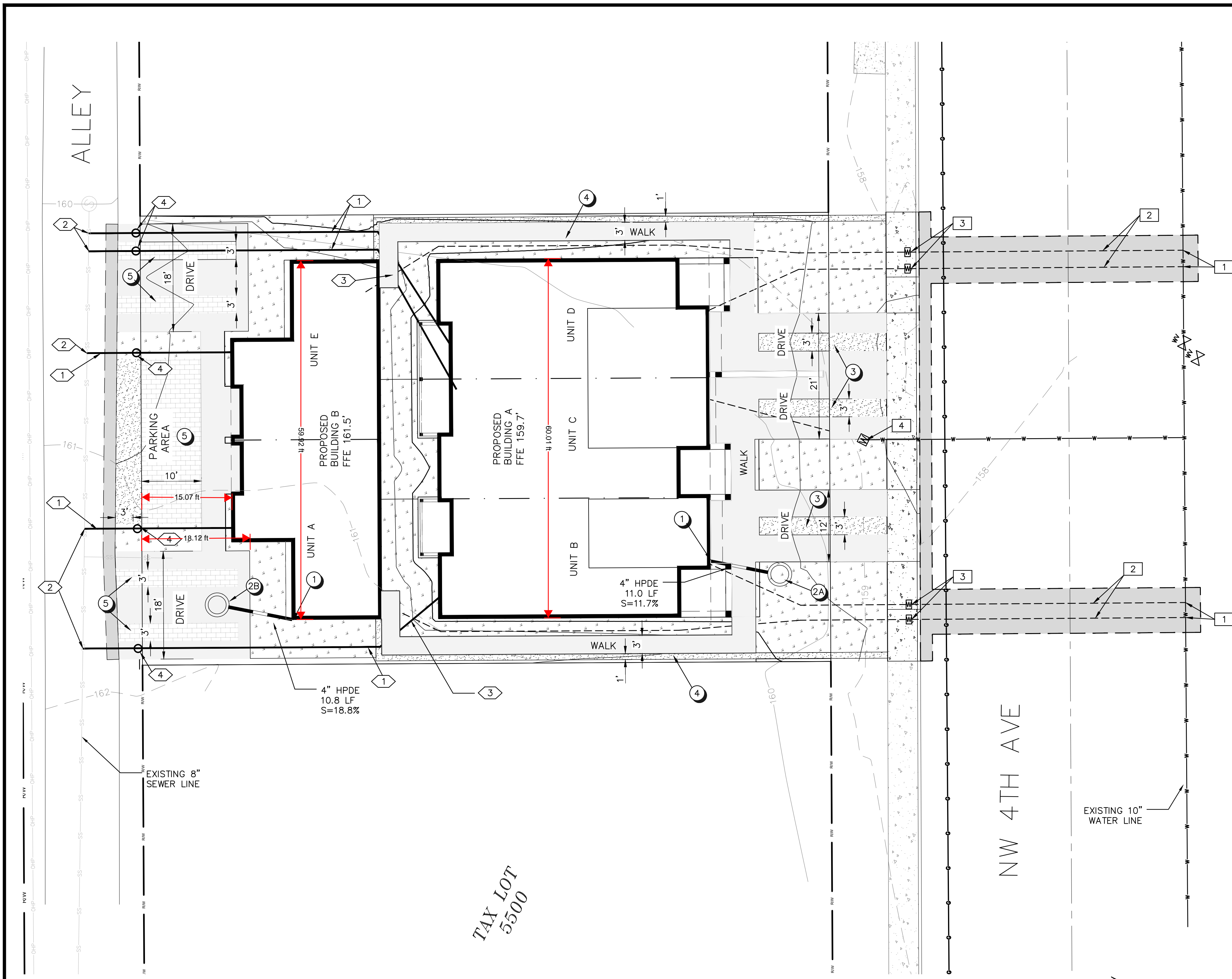
DRAWN:	DESIGNED:	CHECKED:
SCALE: AS SHOWN	DATE: AUG 2022	
PROJECT NO. E21-056		



359 EAST HISTORIC COLUMBIA RIVER HIGHWAY
TROUTDALE, OREGON 97060
BUS: (503) 668-3737 ♦ FAX: (503) 668-3788

DON BURKE
442 NW 4TH AVE
CANBY OR, 97013

EXISTING CONDITIONS & DEMO PLAN
4TH AVE MULTIFAMILY
ENGINEERING PLANS



WATER NOTES

- 1 DIRECT TAPS ON EXISTING MAIN SHALL BE 1" MULLER 300 CORPORATION VALVE WITH COPPER COMPRESSION AND CO THREAD PER CANBY UTILITY DETAIL 003. THERE SHALL BE A 6" MIN SEPARATION BETWEEN LINES PER CANBY UTILITY DETAIL 002 AND 003. SEE DETAIL SHEET 6.
- 2 45.5 LF 1" WATER SERVICE LINES SHALL BE (SDR9) 1" MUNICIPEX, (CTS), CONFORMING TO AWWA C-904, ANSI/NSF 61, AND CANBY UTILITY SPECIFICATIONS. PER CANBY UTILITY DETAIL 003. SEE DETAIL SHEET 6
- 3 METER BOX TO BE DWF PLASTICS INC. DWF486WBC-12-1M WITH A MAGNETIC C-4M GREY SOLID METER BOX COVER. 11"x18" POLYMER. PER CANBY UTILITY DETAIL 003. SEE SHEET 6.
- 4 EXISTING PRIVATE WATER SERVICE TO UNIT C. LOCATE METER BOX AS DIRECTED BY THE CITY.

SANITARY SEWER NOTES

- 1 NEW 6" ASTM 3034 PVC SANITARY SEWER SERVICE AT 1% MIN PER CITY OF CANBY DETAIL 301. SEE DETAIL SHEET 6
- 2 NEW TAP ON EXISTING MAIN WITH ROMAC SADDLE PER CITY OF CANBY DETAIL 302 SEE DETAIL SHEET 6
- 3 WATER AND SANITARY SERVICE CROSSINGS TO HAVE A MINIMUM 18" VERTICAL SEPARATION.
- 4 CONSTRUCT CLEAN OUT AT PROPERTY LINE. SEE DETAIL SHEET 6

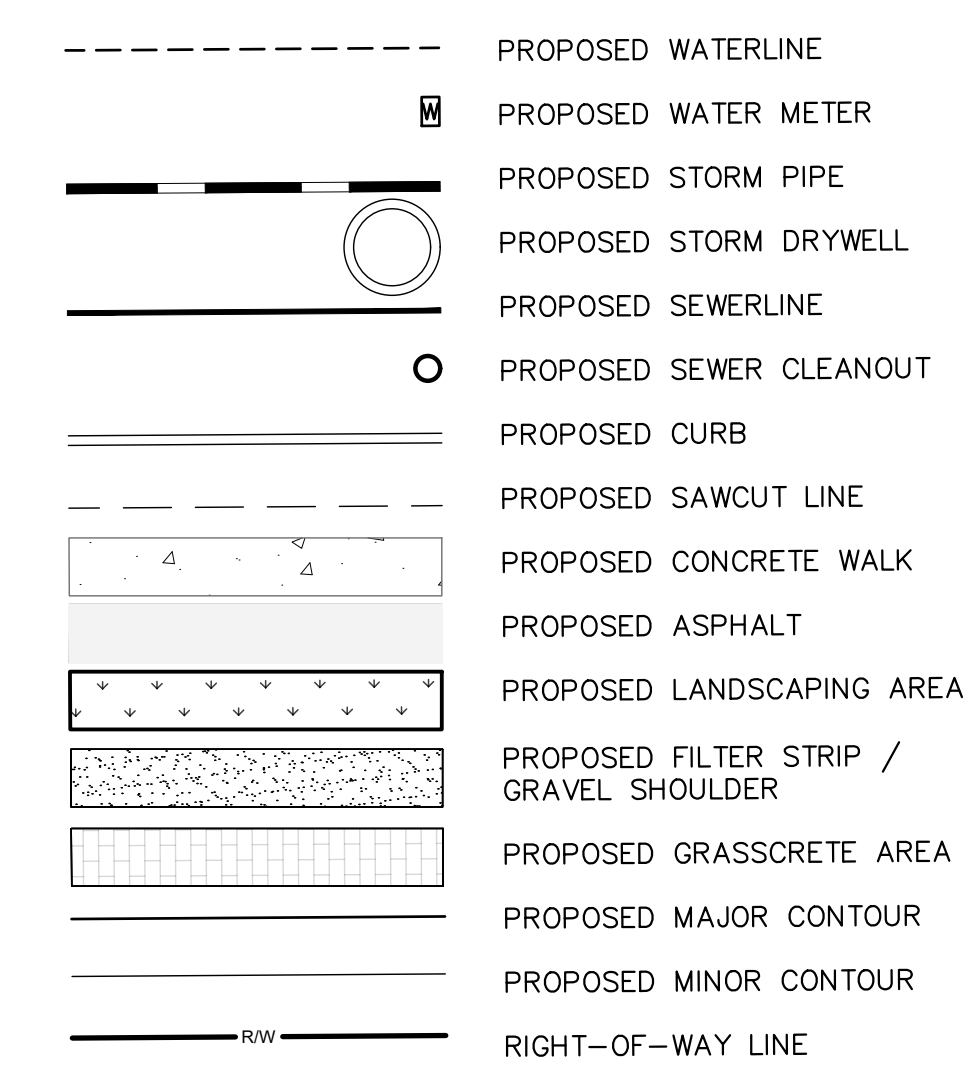
STORM NOTES

- 1 CONNECT ALL BUILDING DOWNSPOUTS TO 4" DRAIN PIPE TO BE ROUTED TO DRYWELL
- 2 (2) 48" DIAMETER DRYWELLS, 5' EFFECTIVE DEPTH, TO RECEIVE ROOF DRAINS ONLY. SEE DETAIL ON SHEET 7. OWNER SHALL REGISTER DRYWELLS WITH OREGON DEPARTMENT OF ENVIRONMENTAL QUALITY.
 - DRYWELL A:
RIM: 159.71'
4" IE IN: 157.38'
BASE ELEVATION OF STRUCTURE: 153.71'
 - DRYWELL B:
RIM: 161.59'
4" IE IN: 159.27'
BASE ELEVATION OF STRUCTURE: 155.59'
- 3 INSTALL 3' WIDE FILTER STRIPS ON CENTER OF EACH DRIVEWAY (TYP). GRADE DRIVEWAY TO LOW POINT ALONG CENTER OF FILTER STRIP. SEE DETAIL ON SHEET 7 AND GRADING PLAN SHEET 4
- 4 INSTALL 1' WIDE GRAVEL SHOULDER ON CONCRETE WALKWAY. GRADE TO SHED STORMWATER TO SHOULDER.
- 5 INSTALL VOIDED GRASSCRETE IN ALL PARKING AND DRIVE AREAS. SEE DETAIL ON SHEET 7

GENERAL NOTES

- 1. ALL PRIVATE UTILITIES TO BE CONSTRUCTED WITH MATERIALS AND IN STALLED IN COMPLIANCE WITH CURRENT VERSION OF OREGON SPECIALITY PLUMBING CODE.

PROPOSED LEGEND

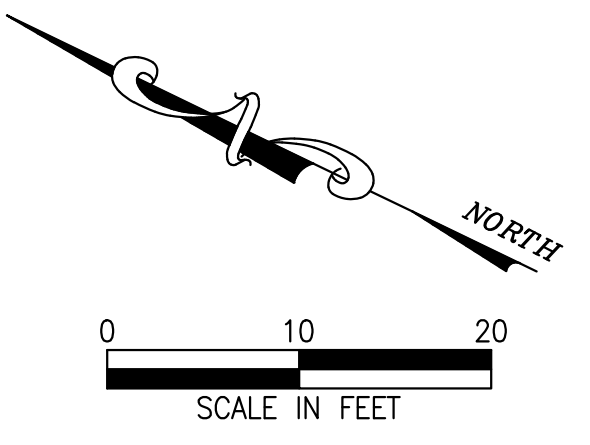


AREAS

TOTAL PROPERTY AREA:	8,625 SF
PROPOSED BUILDING AREA:	4,134 SF (47.9%)
PROPOSED LANDSCAPE AREA:	2593 SF (30.1%)
PROPOSED ASPHALT:	1727 SF (20.0%)
AREAS IN ROW	
PROPOSED LANDSCAPE:	681 SF
PROPOSED ASPHALT:	326 SF

LATERAL TABLE

UNIT	PIPE TYPE	LENGTH	SIZE	SLOPE	INVERT AT END	COVER AT END
A	ASTM 3034 PVC	10.6 LF	6"	26.3%	155.73	5.69
B	ASTM 3034 PVC	11.0 LF	6"	7.5%	153.79	7.92
C	ASTM 3034 PVC	9.7 LF	6"	6.2%	153.51	6.89
D	ASTM 3034 PVC	9.6 LF	6"	6.6%	153.54	6.84
E	ASTM 3034 PVC	10.0 LF	6"	27.0%	155.62	5.23



9.19.22	1	AREAS ADDED
12.27.22	2	LANDSCAPE CHANGES
DATE:	NO.	REVISION

DRAWN:	DESIGNED:	CHECKED:
SCALE: AS SHOWN	DATE: AUG 2022	
PROJECT NO. E21-056		

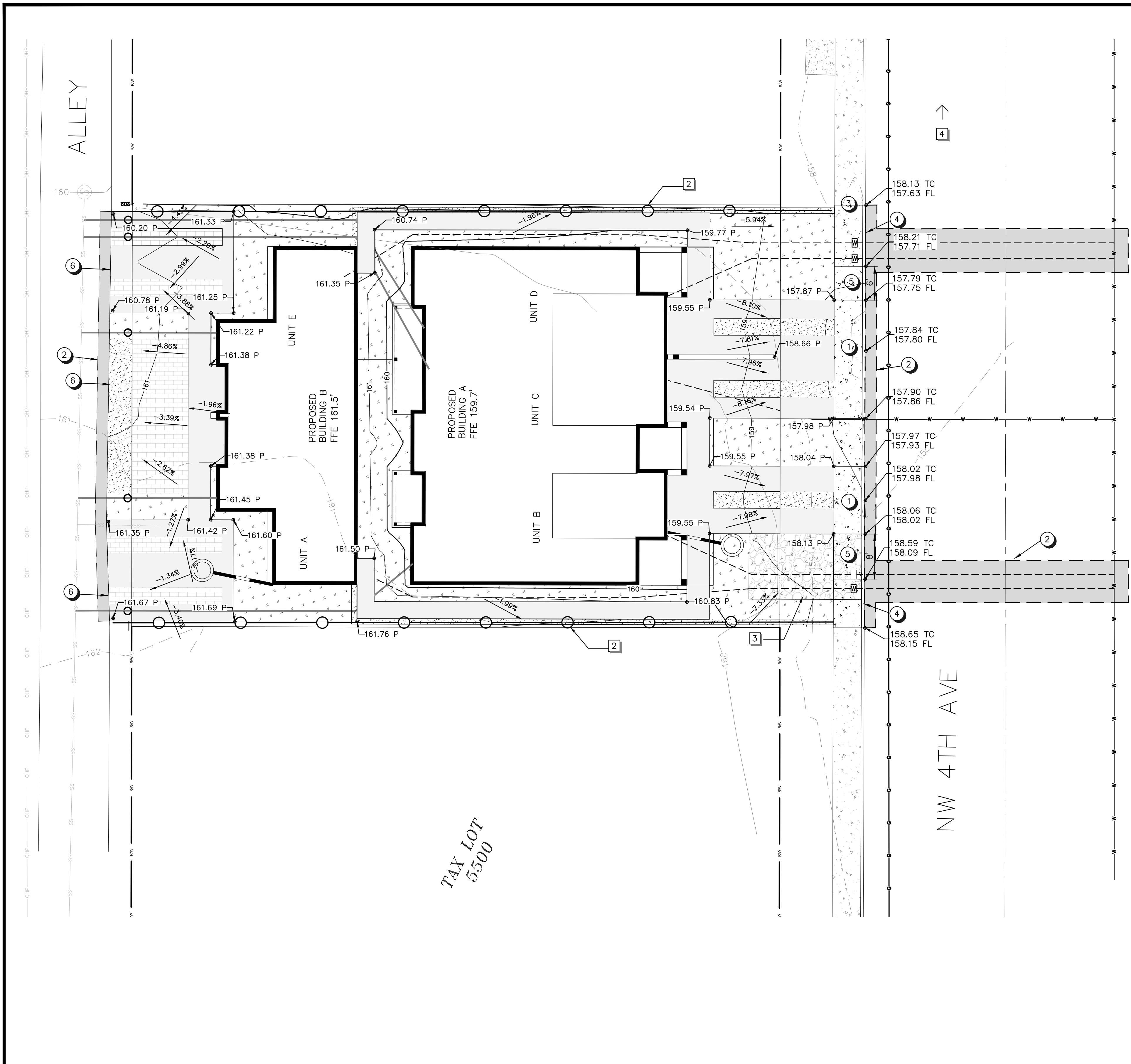


359 EAST HISTORIC COLUMBIA RIVER HIGHWAY
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DON BURKE
442 NW 4TH AVE
CANBY OR, 97013

COMPOSITE SITE & UTILITY PLAN
4TH AVE MULTIFAMILY
ENGINEERING PLANS

EXPIRES: 06/30/23
SIGNATURE DATE: 12/27/22



EROSION CONTROL KEY NOTES

- 1 CB INSERT INLET PROTECTION FOR AREA DRAIN TYPE CATCH BASIN, SEE DETAILS ON SHEET 7 (TYPICAL)
- 2 TEMPORARY SILT FENCING, SEE DETAIL ON SHEET 7, ADJUST SILT FENCING AS NECESSARY DURING CONSTRUCTION, (TYPICAL)
- 3 CONSTRUCTION ENTRANCE, SEE DETAIL SHEET 7
- 4 PROVIDE TEMPORARY INLET PROTECTION ON ALL STORMWATER INLETS WITHIN 250 LF DOWNSTREAM OF THE PROJECT SITE, SEE DETAIL SHEET 6

GRADING KEY NOTES

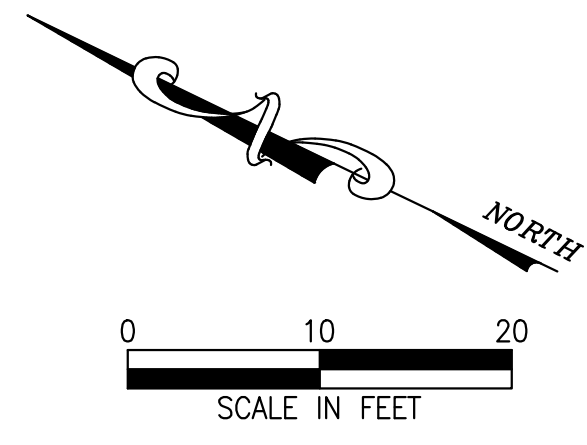
- 1 PROPOSED CONCRETE DRIVEWAY APPROACHES. KNOCK OUT EXISTING CURB ALONG FULL EXTENT OF PROPERTY FRONTAGE. SEE DETAILED GRADING CALLOUTS IN PLAN THIS SHEET AND CITY DETAIL 106 FOR RESIDENTIAL DRIVEWAY ON SHEET 6.
- 2 PROPOSED SAWCUT LINE. CUT MIN 2' BEYOND EXISTING GUTTER LINE. SAWCUT AND AC PAVEMENT RESTORATION PER CITY PUBLIC WORKS STANDARDS.
- 3 5' WIDE SIDEWALK TO REPLACE EXISTING SIDEWALK FULL EXTENT OF PROPERTY FRONTAGE, PER CITY DETAIL 103 ON SHEET 7
- 4 6" EXPOSURE CURB AND GUTTER PER CITY DETAIL 101 ON SHEET 6.
- 5 SIDEWALK RAMP ON EITHER SIDE OF DRIVEWAYS WITH CURB TRANSITION FROM 6" EXPOSURE TO 1/2" LIP.
- 6 DRIVEWAY TO MATCH EXISTING PAVEMENT AT ALLEY

SPOT ELEVATION DESCRIPTION

FFE = FINISH FLOOR ELEVATION
 P = PROPOSED PAVEMENT
 TC = TOP OF CURB
 FL = FLOWLINE

ESTIMATED INPLACE QUANTITIES

TOTAL CUT: 81 CY
 TOTAL FILL: 75 CY
 QUANTITY ESTIMATE DOES NOT INCLUDE TRENCH SPOILS OR EXCAVATION UNDER BUILDINGS



EXPIRES: 06/30/23
 SIGNATURE DATE: 12/27/22

9.19.22	1	AREAS ADDED
12.27.22	2	LANDSCAPE CHANGES
DATE:	NO.	REVISION

DRAWN:	DESIGNED:	CHECKED:
SCALE: AS SHOWN	DATE: AUG 2022	
PROJECT NO. E21-056		

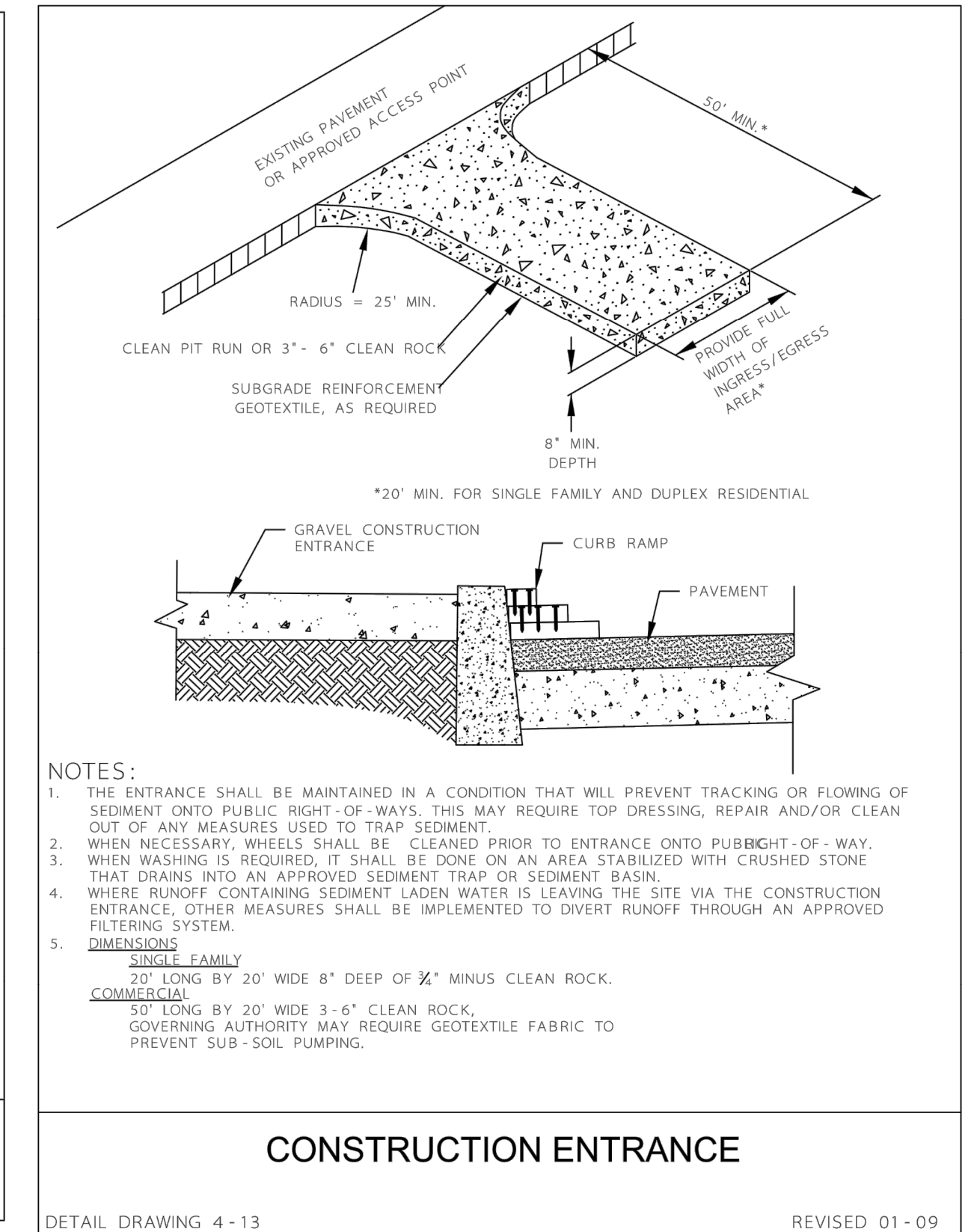
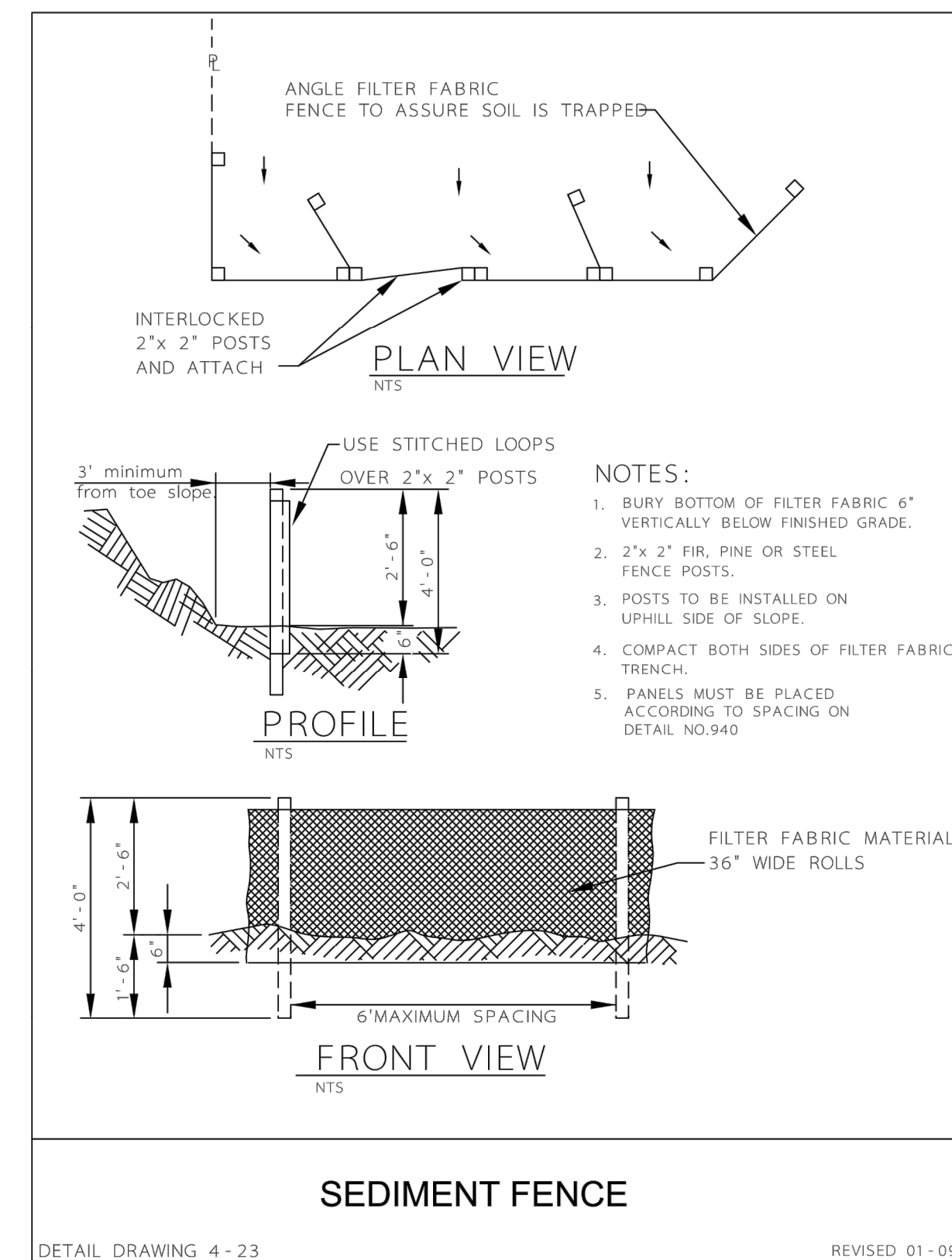
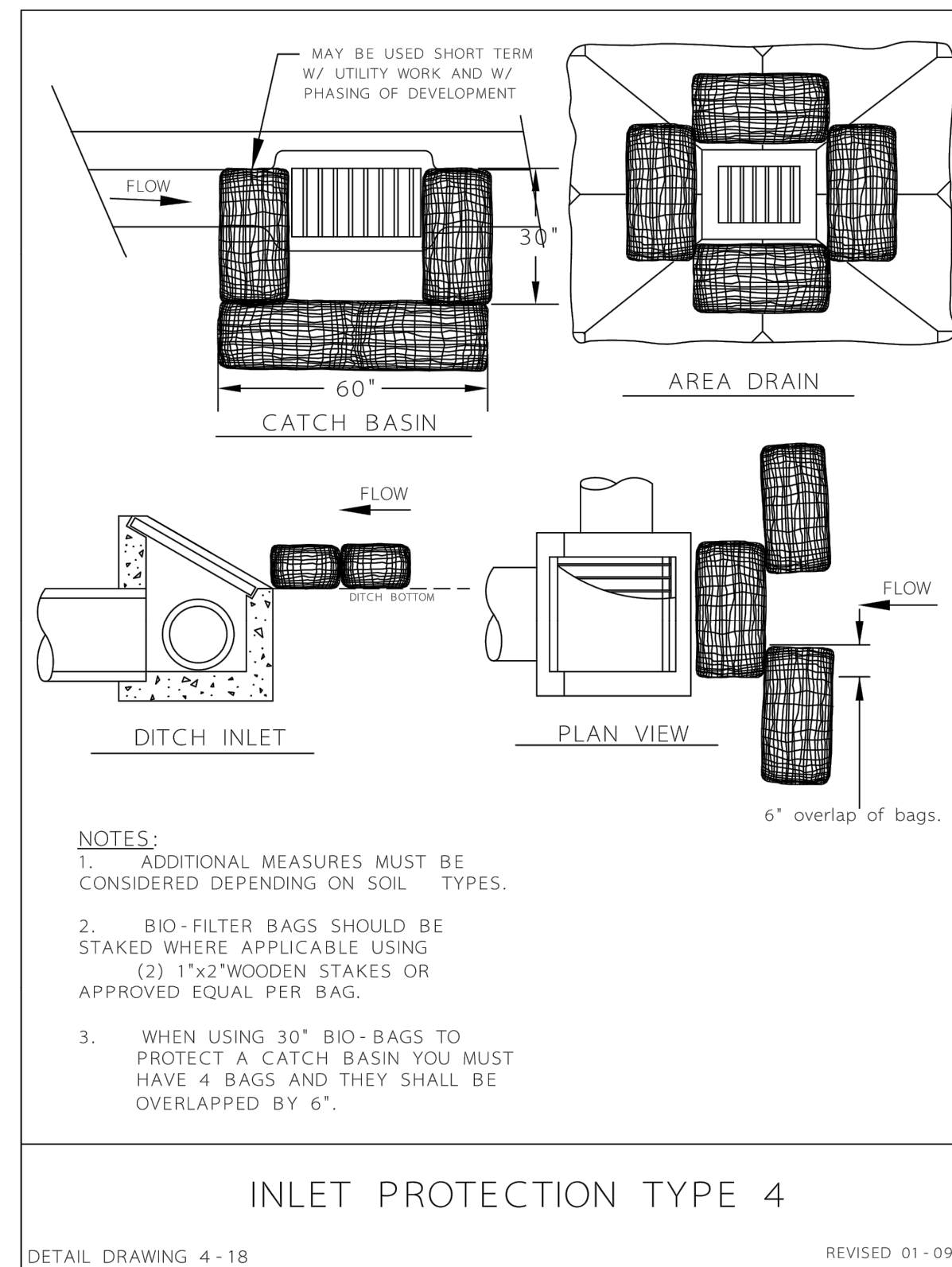
FIRWOOD
 DESIGN GROUP
 359 EAST HISTORIC COLUMBIA RIVER HIGHWAY
 TROUTDALE, OREGON 97060
 BUS: (503) 668-3737 ♦ FAX: (503) 668-3788

DON BURKE
 442 NW 4TH AVE
 CANBY OR, 97013

SITE GRADING & ESC PLAN
 4TH AVE MULTIFAMILY
 ENGINEERING PLANS

EROSION CONTROL NOTES

- Owner or designated person shall be responsible for proper installation and maintenance of all erosion and sediment control (ESC) measures, in accordance with local, State, and Federal regulations.
- The implementation of these ESC plans and construction, maintenance, replacement, and upgrading of these ESC facilities is the responsibility of the contractor until all construction is completed and approved by the local jurisdiction, and vegetation/landscaping is established. The developer shall be responsible for maintenance after the project is approved until the lots are sold.
- The boundaries of the clearing limits shown on this plan shall be clearly marked in the field prior to construction. During the construction period, no disturbance beyond the clearing limits shall be permitted. The markings shall be maintained by the applicant/contractor for the duration of construction.
- The ESC facilities shown on this plan must be constructed in conjunction with all clearing and grading activities, and in such a manner as to insure that sediment and sediment laden water does not enter the drainage system, roadways, or violate applicable water standards.
- The ESC facilities shown on this plan are minimum requirements for anticipated site conditions. During construction period, these ESC facilities shall be upgraded as needed for unexpected storm events and to ensure that sediment and sediment laden water does not leave the site.
- The ESC facilities shall be inspected daily by the applicant/contractor and maintained as necessary to ensure their continued functioning.
- At no time shall sediment be allowed to accumulate more than 1/3 the barrier height. All catch basins and conveyance lines shall be cleaned prior to paving. The cleaning operations shall not flush sediment laden water into the downstream system.
- Stabilized gravel entrances shall be installed at the beginning of construction and maintained for the duration of the project. Additional measures may be required to insure that all paved areas are kept clean for the duration of the project.
- Storm drains inlets, basins, and area drains shall be protected until pavement surfaces are completed and/or vegetation is re-established.
- Pavement surfaces and vegetation are to be placed as rapidly as possible.
- Seeding shall be performed no later than September 1 for each phase of construction.
- If there are exposed soils or soils not fully established from October 1st through April 30th, the wet weather erosion prevention measures will be in effect. See the Erosion Prevention and Sediment Control Planning and Design Manual (Chapter 4) for requirements.
- The developer shall remove ESC measures when vegetation is fully established.



9.19.22	1	AREAS ADDED
12.27.22	2	LANDSCAPE CHANGES
DATE:	NO.	REVISION

DRAWN:	DESIGNED:	CHECKED:
SCALE: AS SHOWN	DATE: AUG 2022	
PROJECT NO. E21-056		



359 EAST HISTORIC COLUMBIA RIVER HIGHWAY
TROUTDALE, OREGON 97060
BUS: (503) 668-3737 ♦ FAX: (503) 668-3788

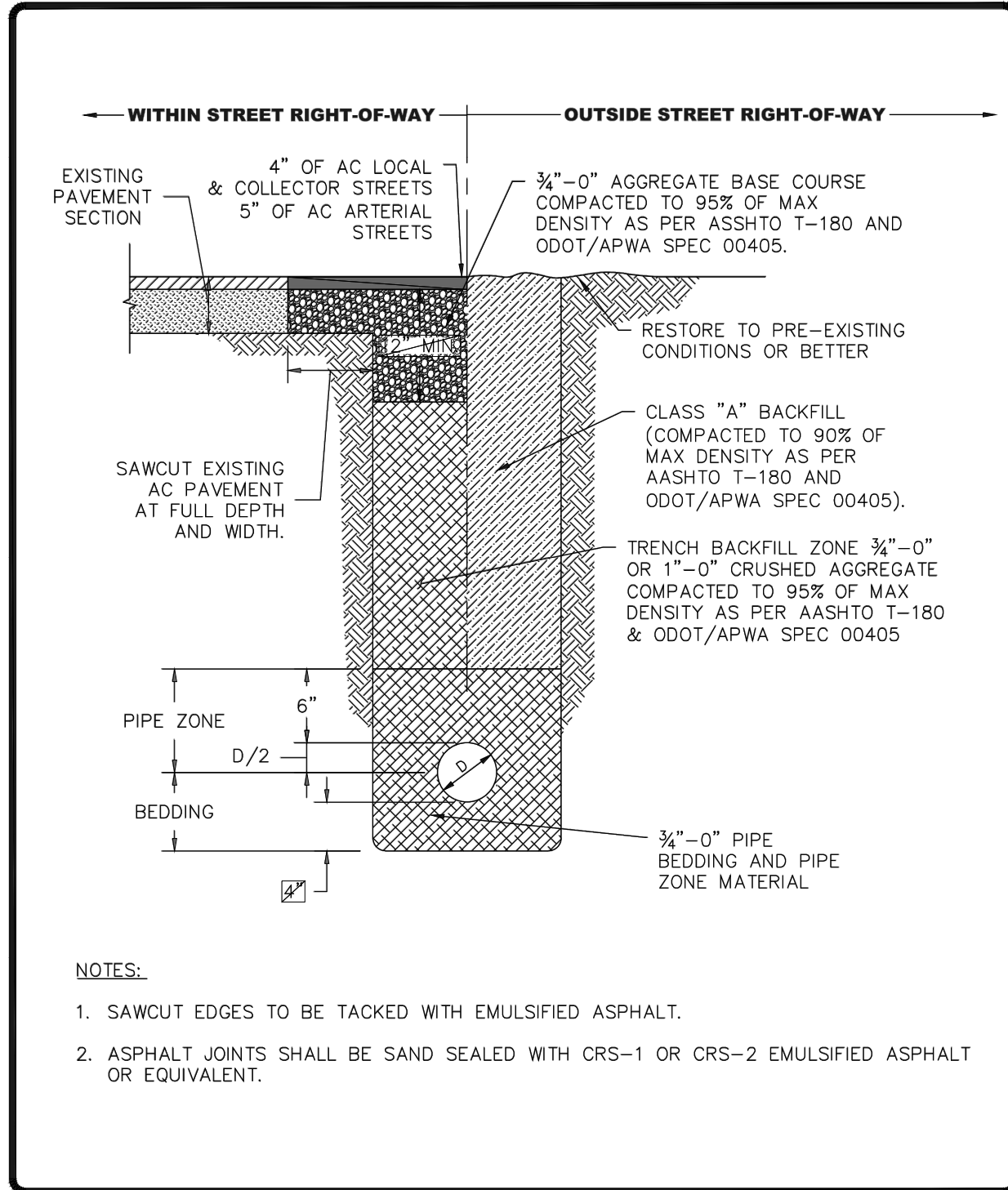
DON BURKE
442 NW 4TH AVE
CANBY OR, 97013

ESC DETAILS & NOTES
4TH AVE MULTIFAMILY
ENGINEERING PLANS



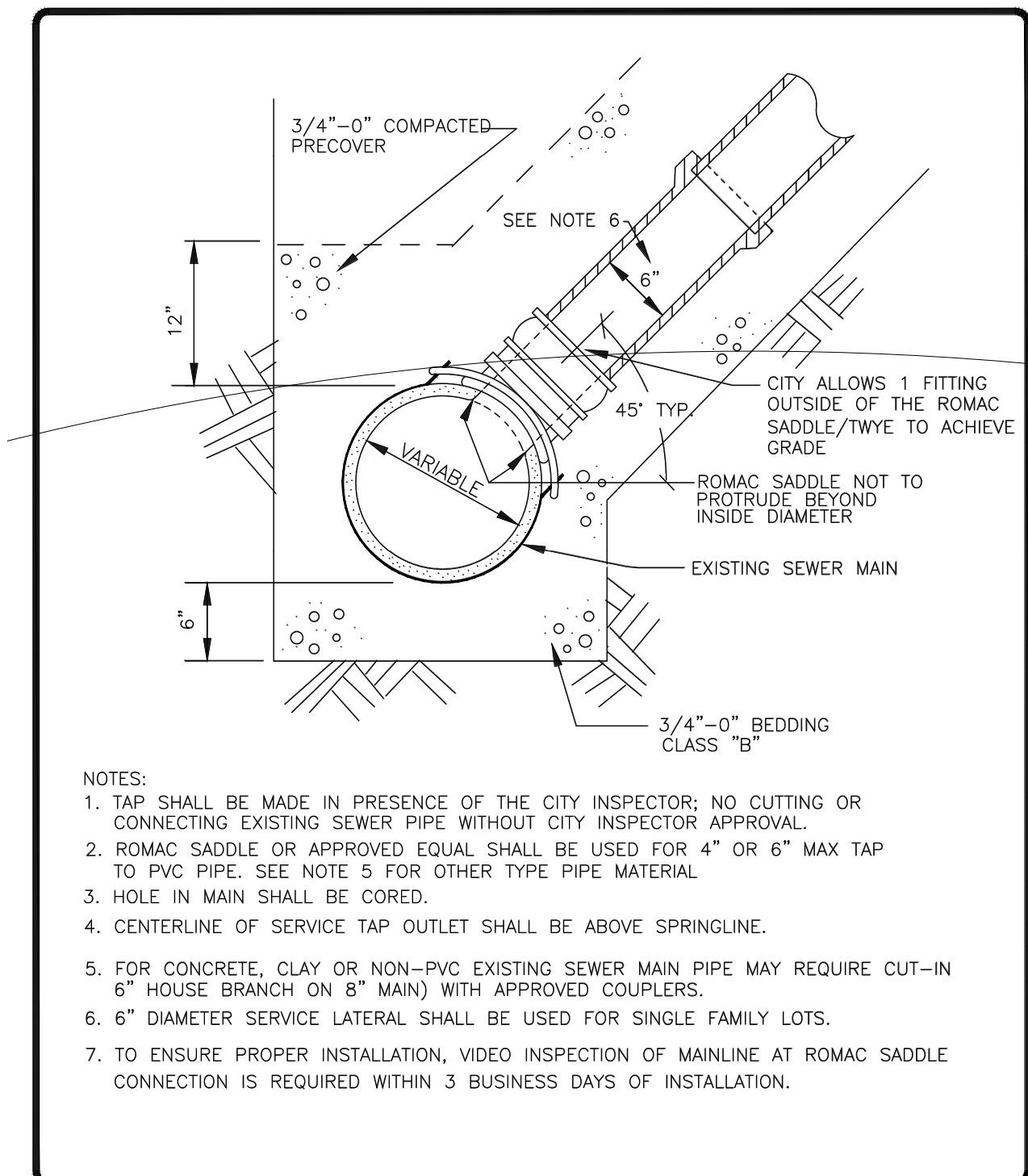
EXPIRES: 06/30/23
SIGNATURE DATE: 12/27/22

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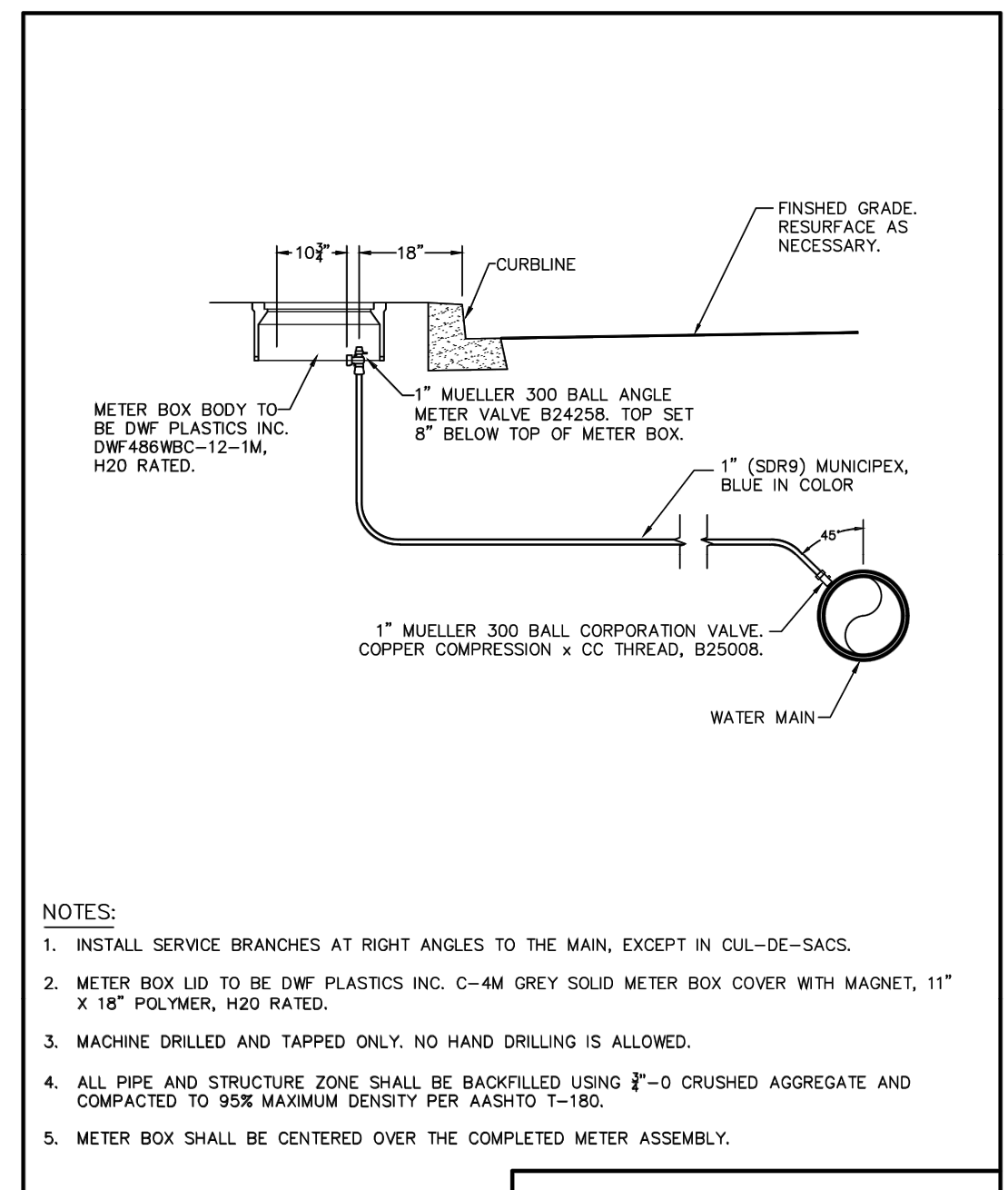
- NOTES:
- SAWCUT EDGES TO BE TACKED WITH EMULSIFIED ASPHALT.
 - ASPHALT JOINTS SHALL BE SAND SEALED WITH CRS-1 OR CRS-2 EMULSIFIED ASPHALT OR EQUIVALENT.

CITY OF CANBY		TRENCH DETAIL	
BY: JT	DATE: 12-06-19	DWGNO: 210	



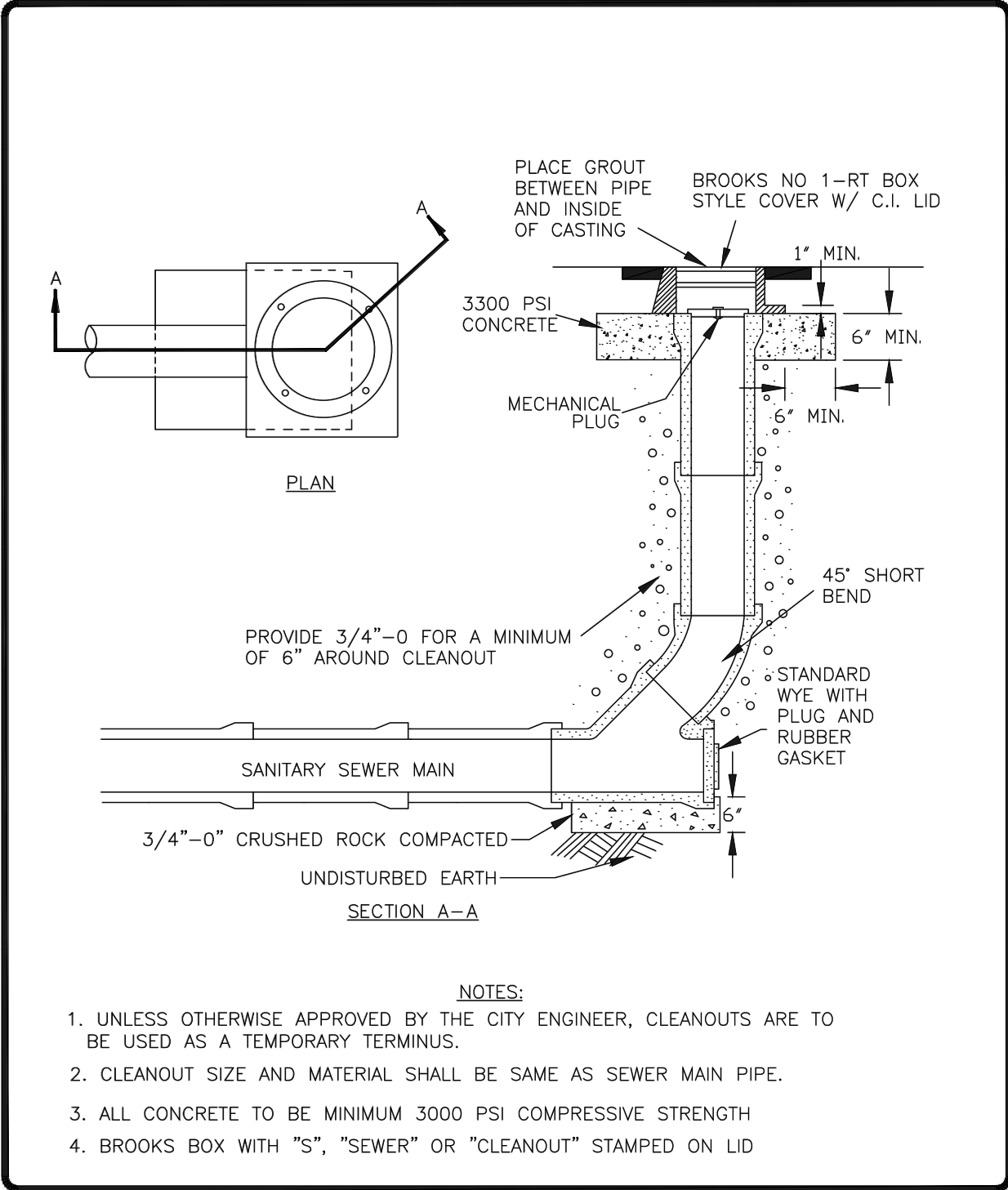
- NOTES:
- TAP SHALL BE MADE IN PRESENCE OF THE CITY INSPECTOR; NO CUTTING OR CONNECTING EXISTING SEWER PIPE WITHOUT CITY INSPECTOR APPROVAL.
 - ROMAC SADDLE OR APPROVED EQUAL SHALL BE USED FOR 4" OR 6" MAX TAP TO PVC PIPE. SEE NOTE 5 FOR OTHER TYPE PIPE MATERIAL.
 - HOLE IN MAIN SHALL BE CORED.
 - CENTERLINE OF SERVICE TAP OUTLET SHALL BE ABOVE SPRINGLINE.
 - FOR CONCRETE, CLAY OR NON-PVC EXISTING SEWER MAIN PIPE MAY REQUIRE CUT-IN 6" HOUSE BRANCH ON 6" MAIN WITH APPROVED COUPLERS.
 - 6" DIAMETER SERVICE LATERAL SHALL BE USED FOR SINGLE FAMILY LOTS.
 - TO ENSURE PROPER INSTALLATION, VIDEO INSPECTION OF MAINLINE AT ROMAC SADDLE CONNECTION IS REQUIRED WITHIN 3 BUSINESS DAYS OF INSTALLATION.

CITY OF CANBY		SANITARY SEWER SERVICE TAP TO EXISTING SEWERS	
BY: JT	DATE: 12-06-19	DWGNO: 302	



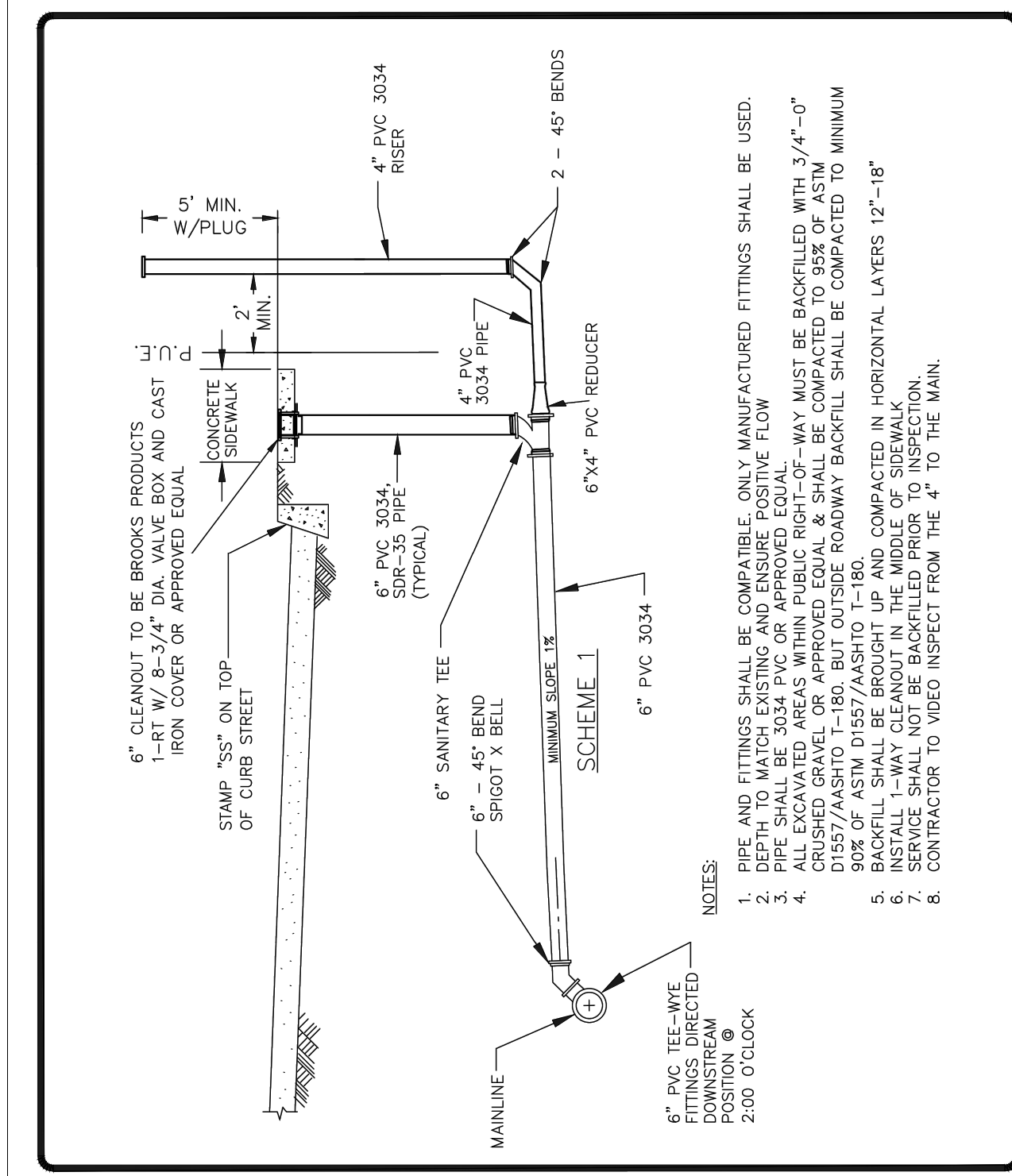
- NOTES:
- INSTALL SERVICE BRANCHES AT RIGHT ANGLES TO THE MAIN, EXCEPT IN CUL-DE-SACS.
 - METER BOX LID TO BE DWF PLASTICS INC. C-4M GREY SOLID METER BOX COVER WITH MAGNET, 11" X 18" POLYMER, H20 RATED.
 - MACHINE DRILLED AND TAPPED ONLY. NO HAND DRILLING IS ALLOWED.
 - ALL PIPE AND STRUCTURE ZONE SHALL BE BACKFILLED USING T-0 CRUSHED AGGREGATE AND COMPACTED TO 95% MAXIMUM DENSITY PER AASHTO T-180.
 - METER BOX SHALL BE CENTERED OVER THE COMPLETED METER ASSEMBLY.

CANBY UTILITY		1" SERVICE ASSEMBLY	
DATE: 12/10/2018	DRAWING NO: 003		



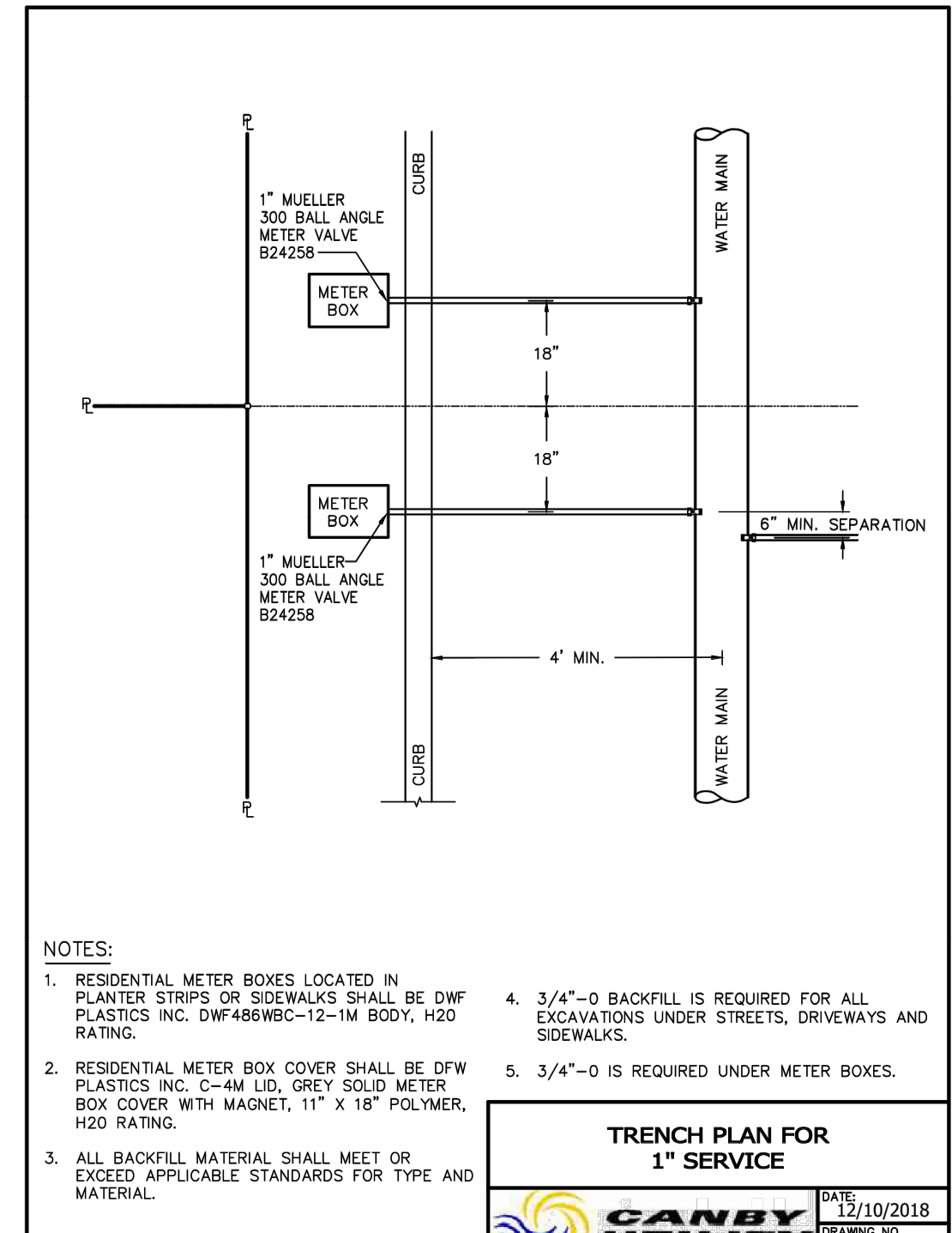
- NOTES:
- UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER, CLEANOUTS ARE TO BE USED AS A TEMPORARY TERMINUS.
 - CLEANOUT SIZE AND MATERIAL SHALL BE SAME AS SEWER MAIN PIPE.
 - ALL CONCRETE TO BE MINIMUM 3000 PSI COMPRESSIVE STRENGTH.
 - BROOKS BOX WITH "S", "SEWER" OR "CLEANOUT" STAMPED ON LID

CITY OF CANBY		SANITARY SEWER CLEAN-OUT	
BY: JT	DATE: 12-06-19	DWGNO: 303	



- NOTES:
- ALL FITTINGS SHALL BE MANUFACTURED ONLY MANUFACTURED FITTINGS SHALL BE USED.
 - DEPTH TO MATCH EXISTING AND INSURE POSITIVE FLUSH.
 - PIPE SHALL BE 3034 PVC OR APPROVED EQUAL.
 - ALL EXCAVATED AREAS WITHIN PUBLIC RIGHT-OF-WAY MUST BE BACKFILLED WITH 3/4"-0" D1957/AASHTO T-180, BUT OUTSIDE ROADWAY BACKFILL SHALL BE COMPACTED TO MINIMUM 90% OF ASTM D1557/AASHTO T-180. COMPACTED IN HORIZONTAL LAYERS 12"-18" DEEP. BACKFILL SHALL BE BROUGHT IN THE MIDDLE OF SIDEWALK.
 - SERVICE SHALL NOT BE BACKFILLED PRIOR TO INSPECTION.
 - CONTRACTOR TO VIDEO INSPECT FROM THE 4" TO THE MAIN.

CITY OF CANBY		SANITARY SEWER LATERAL	
BY: JT	DATE: 6-02-21	DWGNO: 301	



- NOTES:
- RESIDENTIAL METER BOXES LOCATED IN PLANTER STRIPS OR SIDEWALKS SHALL BE DWF PLASTICS INC. DWF486WBC-12-1M BODY, H20 RATING.
 - RESIDENTIAL METER BOX COVER SHALL BE DWF PLASTICS INC. C-4M LID, GREY SOLID METER BOX COVER WITH MAGNET, 11" X 18" POLYMER, H20 RATING.
 - ALL BACKFILL MATERIAL SHALL MEET OR EXCEED APPLICABLE STANDARDS FOR TYPE AND MATERIAL.
 - 3/4"-0 BACKFILL IS REQUIRED FOR ALL EXCAVATIONS UNDER STREETS, DRIVEWAYS AND SIDEWALKS.
 - 3/4"-0 IS REQUIRED UNDER METER BOXES.

CANBY UTILITY		TRENCH PLAN FOR 1" SERVICE	
DATE: 12/10/2018	DRAWING NO: 002		

9.19.22	1	AREAS ADDED	DRAWN:	DESIGNED:	CHECKED:
12.27.22	2	LANDSCAPE CHANGES	SCALE: AS SHOWN	DATE: AUG 2022	
DATE:	NO.	REVISION	PROJECT NO. E21-056		

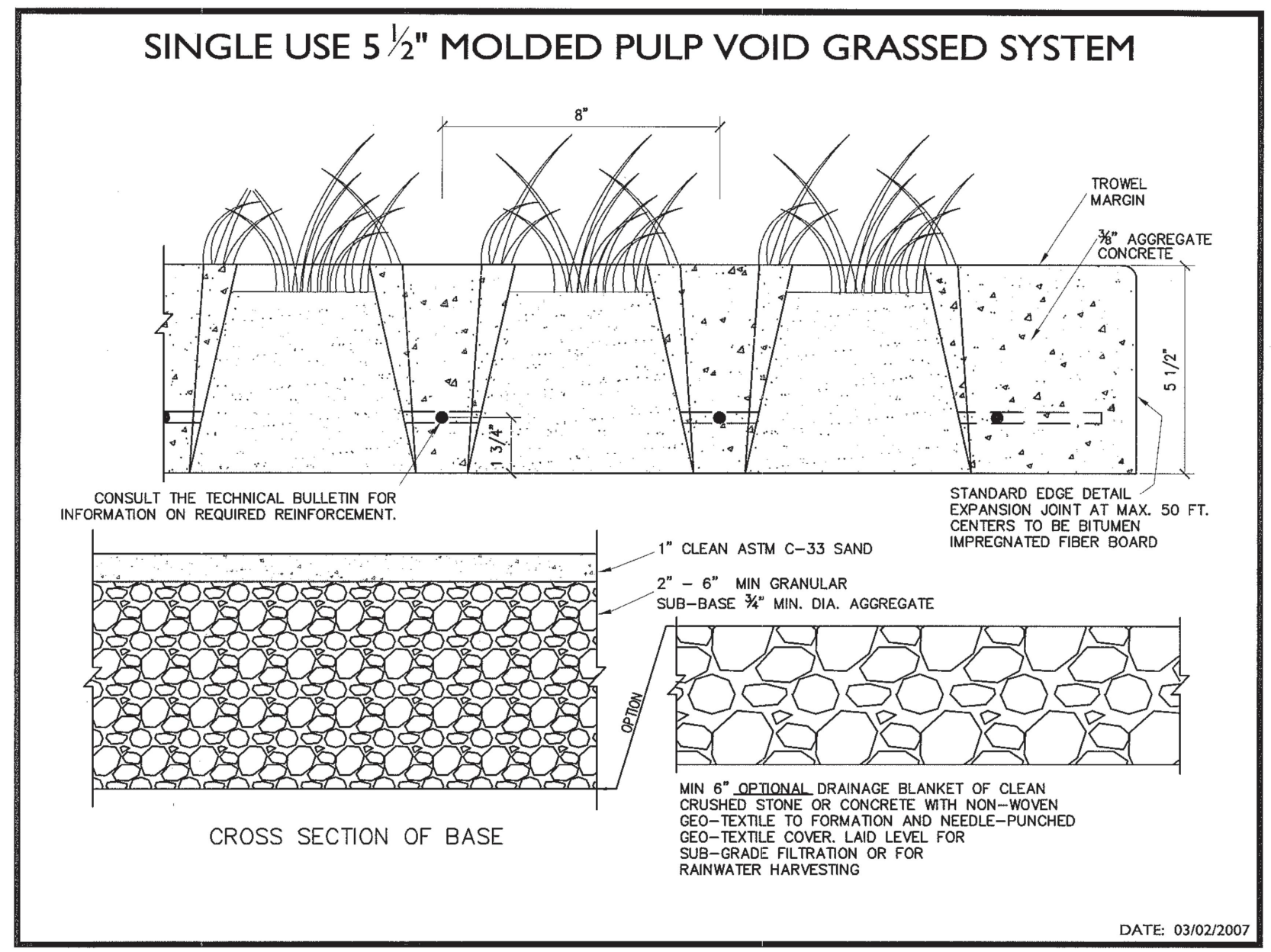
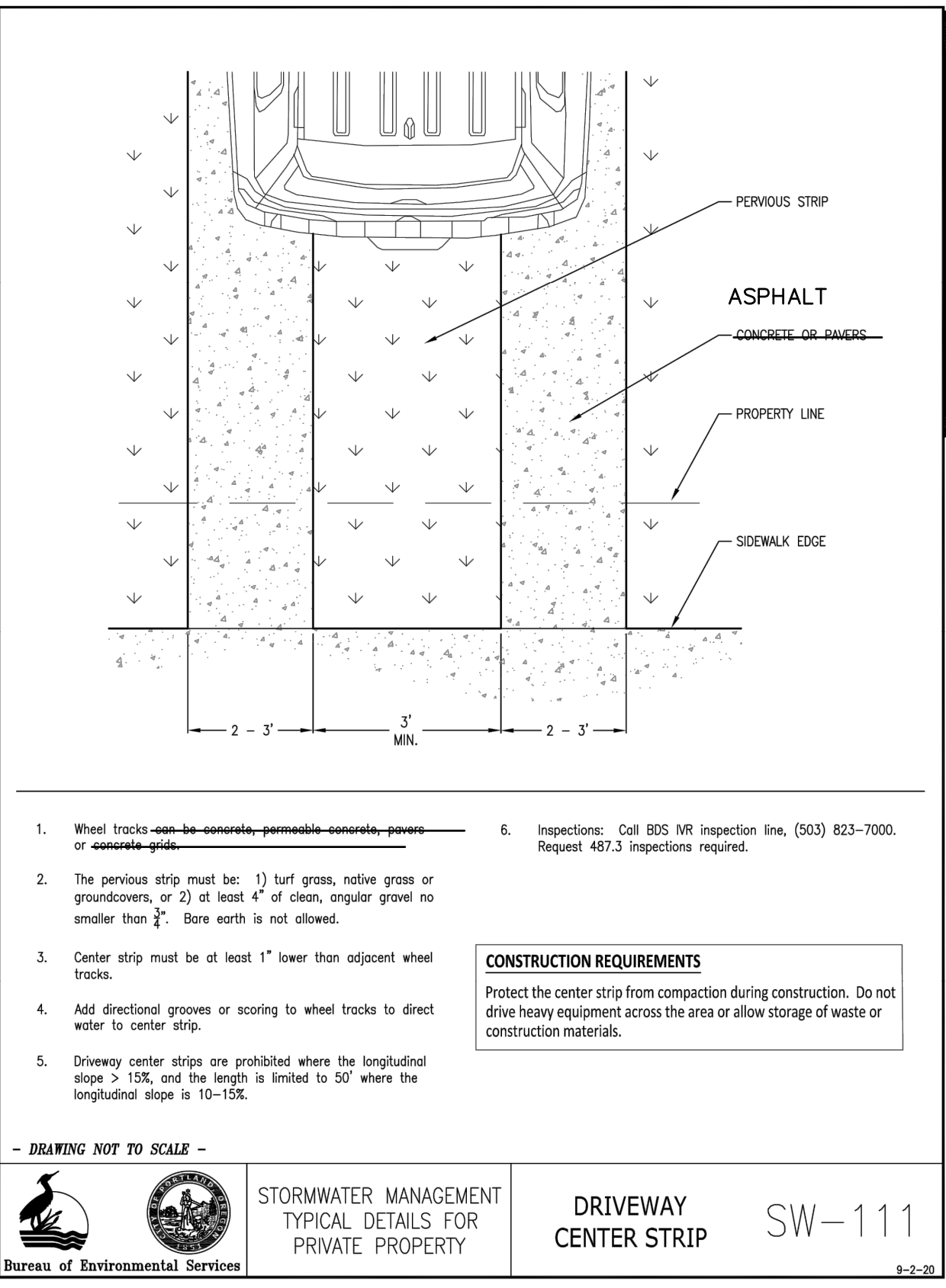
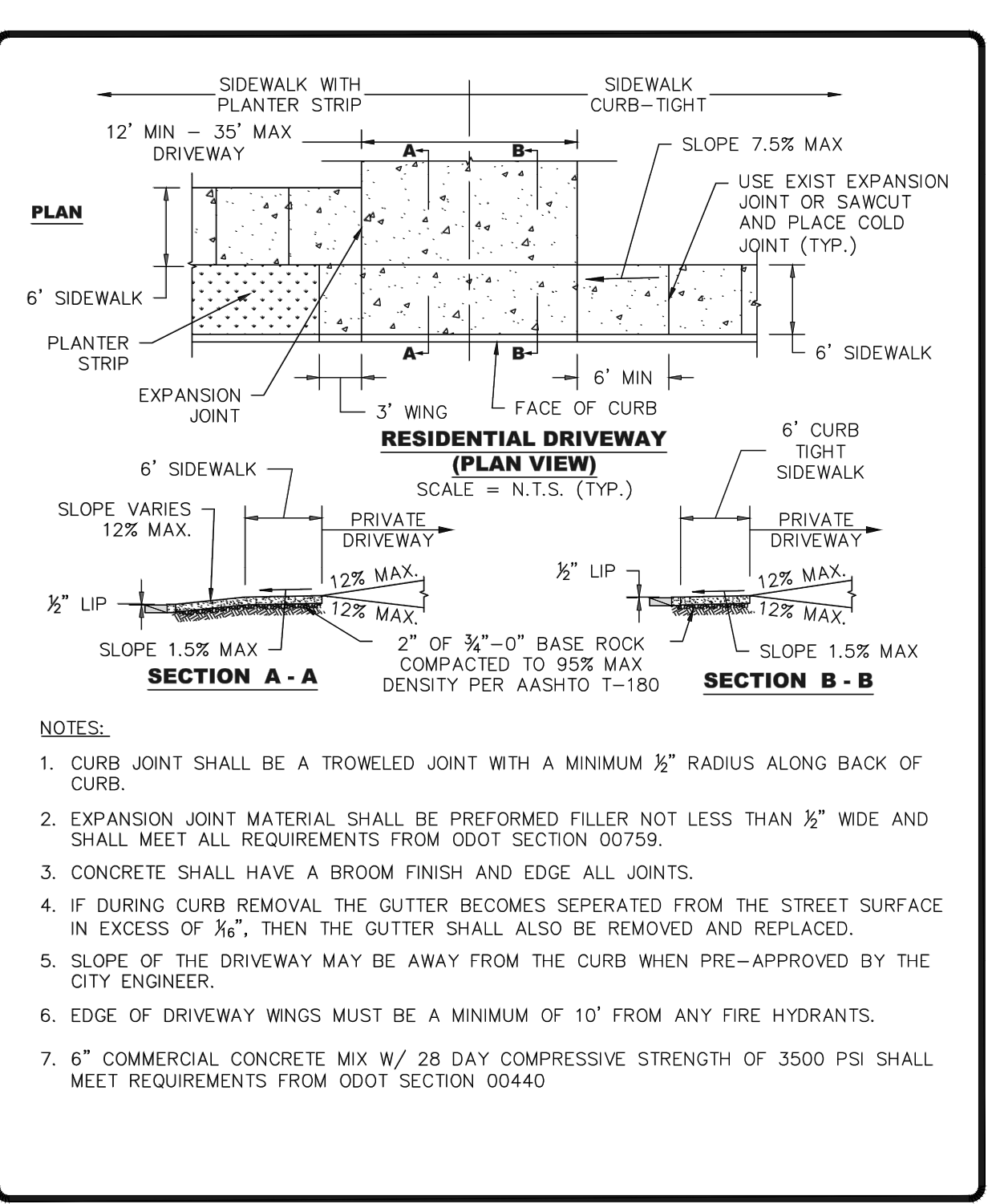
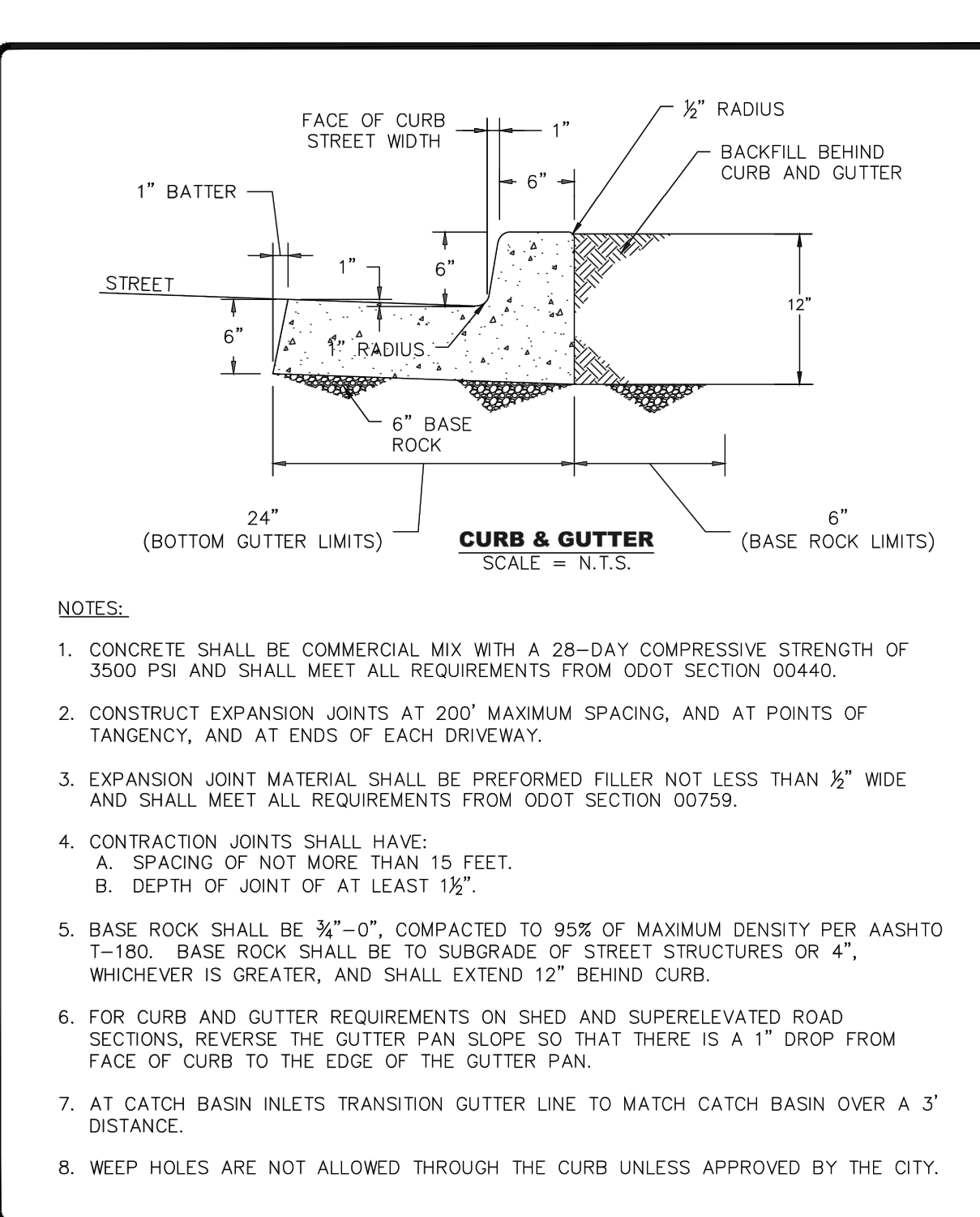
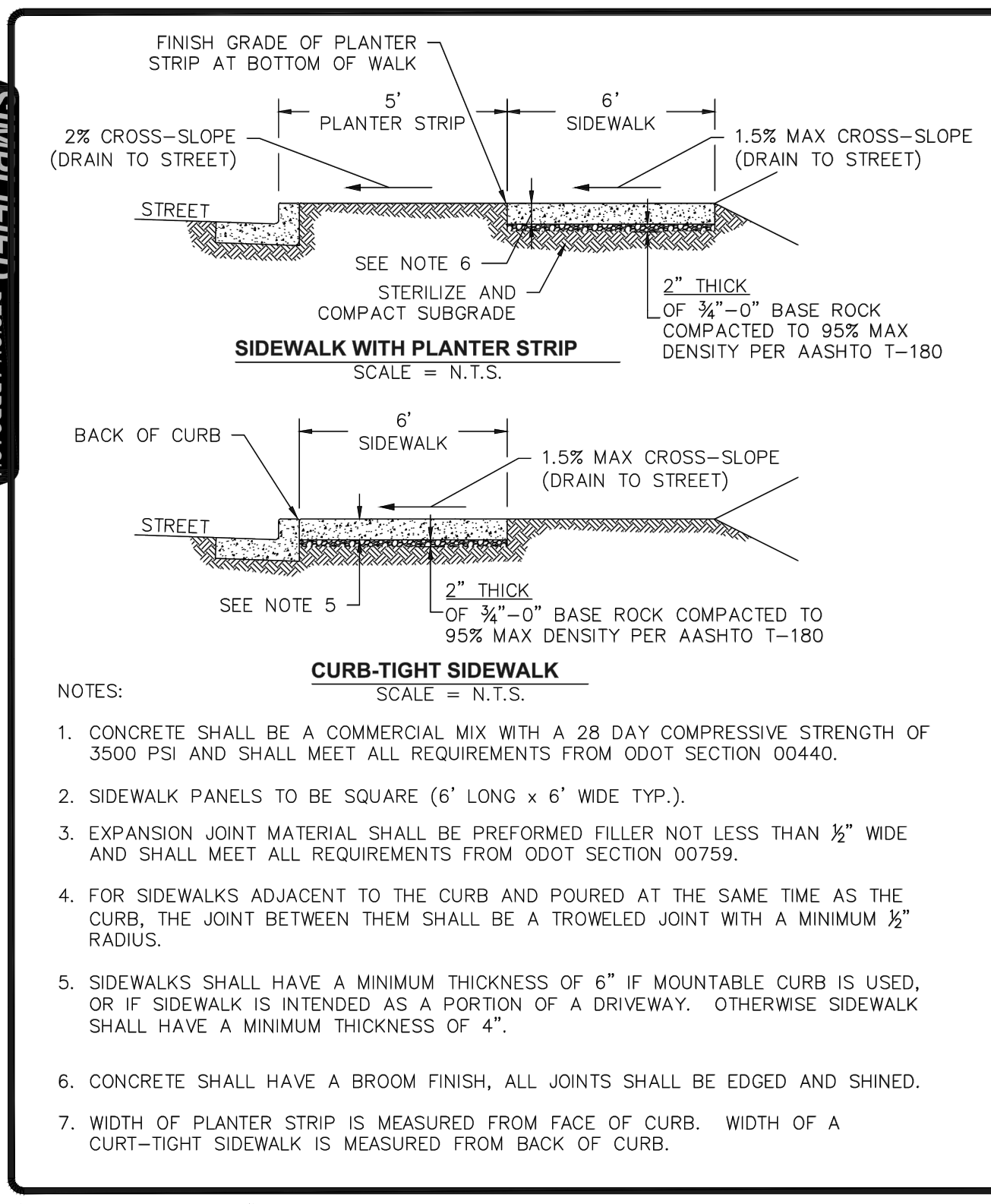
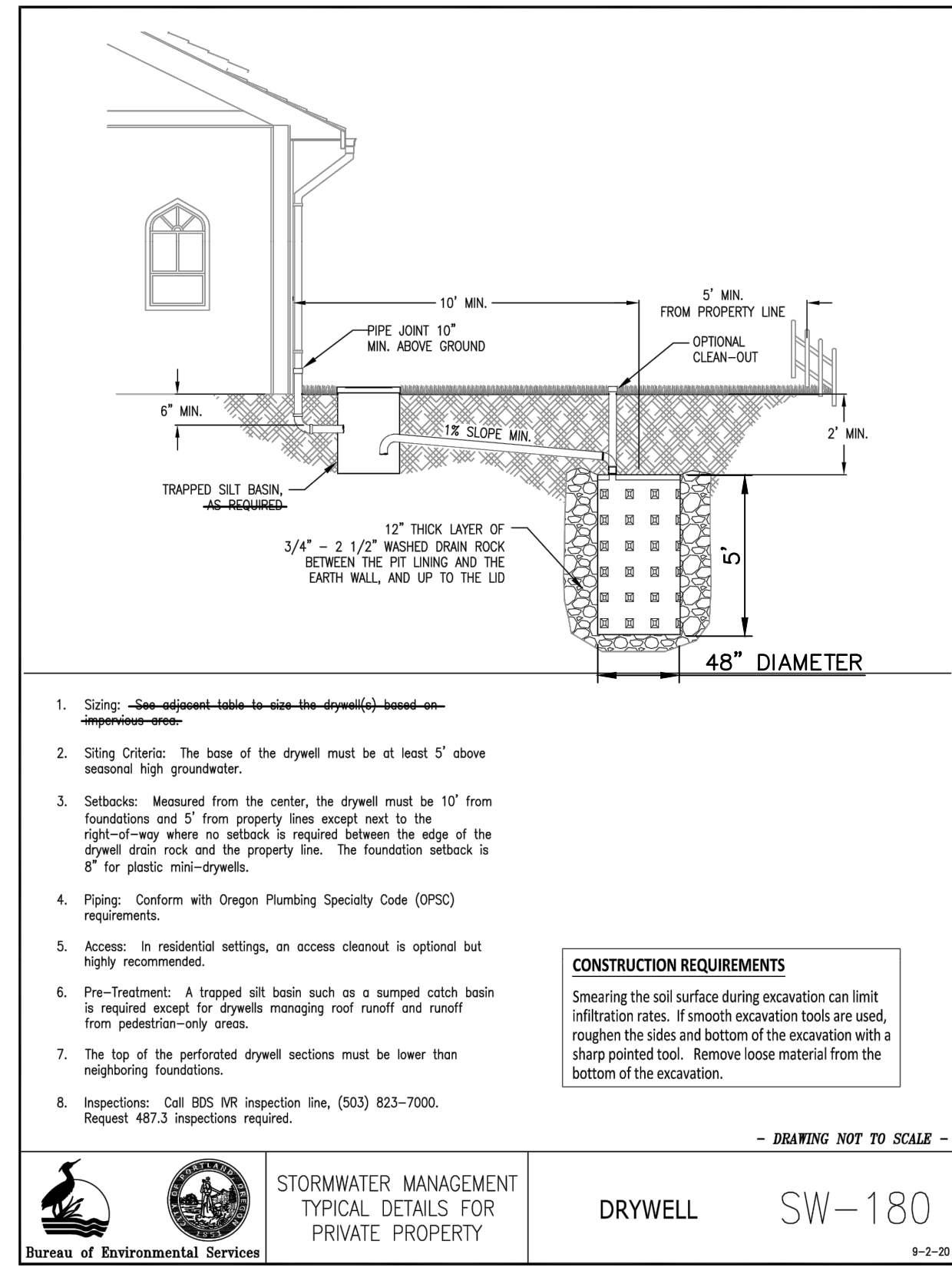
FIRWOOD DESIGN GROUP
 359 EAST HISTORIC COLUMBIA RIVER HIGHWAY
 TROUTDALE, OREGON 97060
 BUS: (503) 668-3737 ♦ FAX: (503) 668-3788

DON BURKE
 442 NW 4TH AVE
 CANBY OR, 97013

DETAILS - SEWER & WATER
 4TH AVE MULTIFAMILY
 ENGINEERING PLANS



EXPIRES: 06/30/23
 SIGNATURE DATE: 12/27/22



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DATE:	NO.	REVISION

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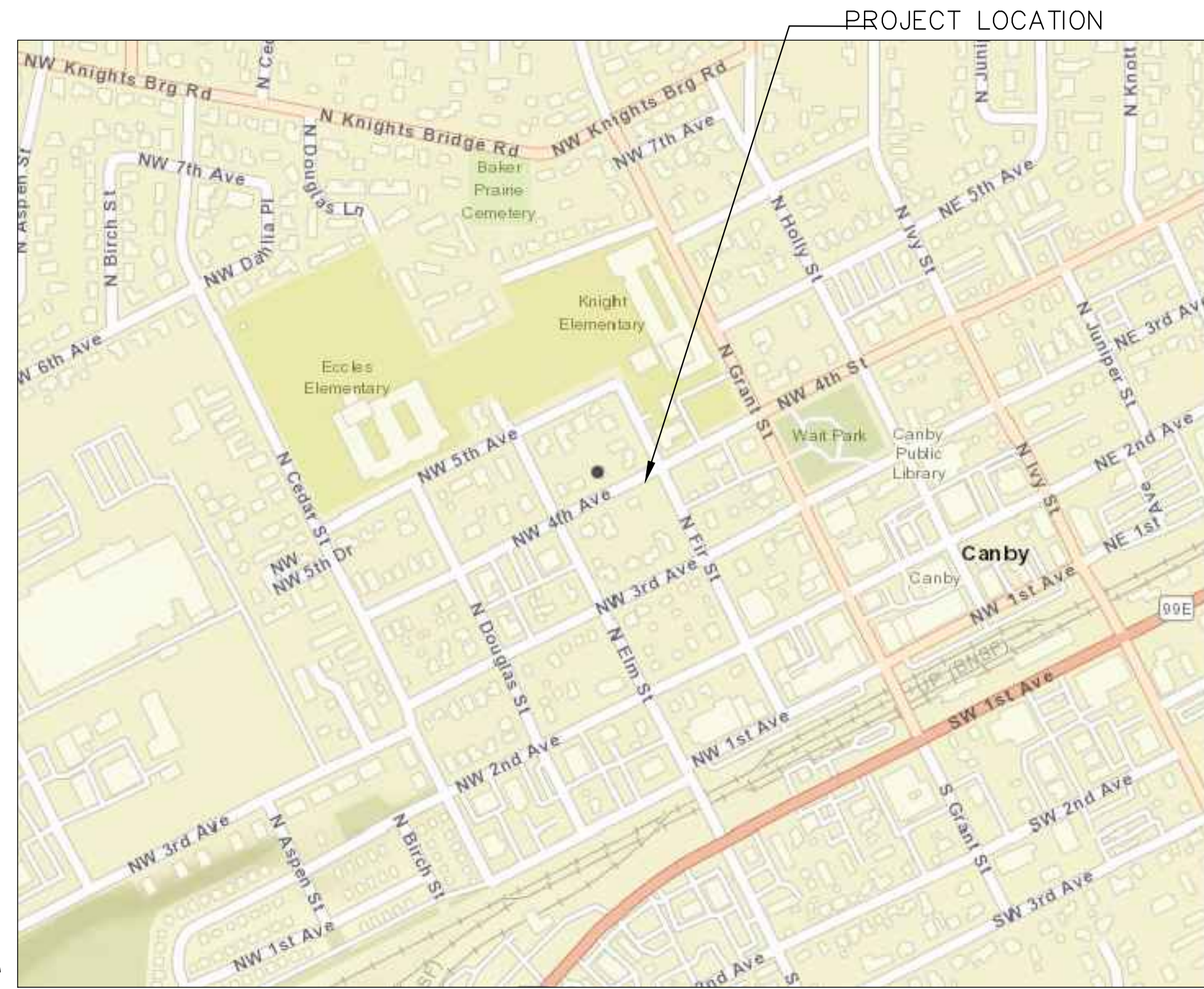
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DON BURKE
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 CANBY OR, 97013

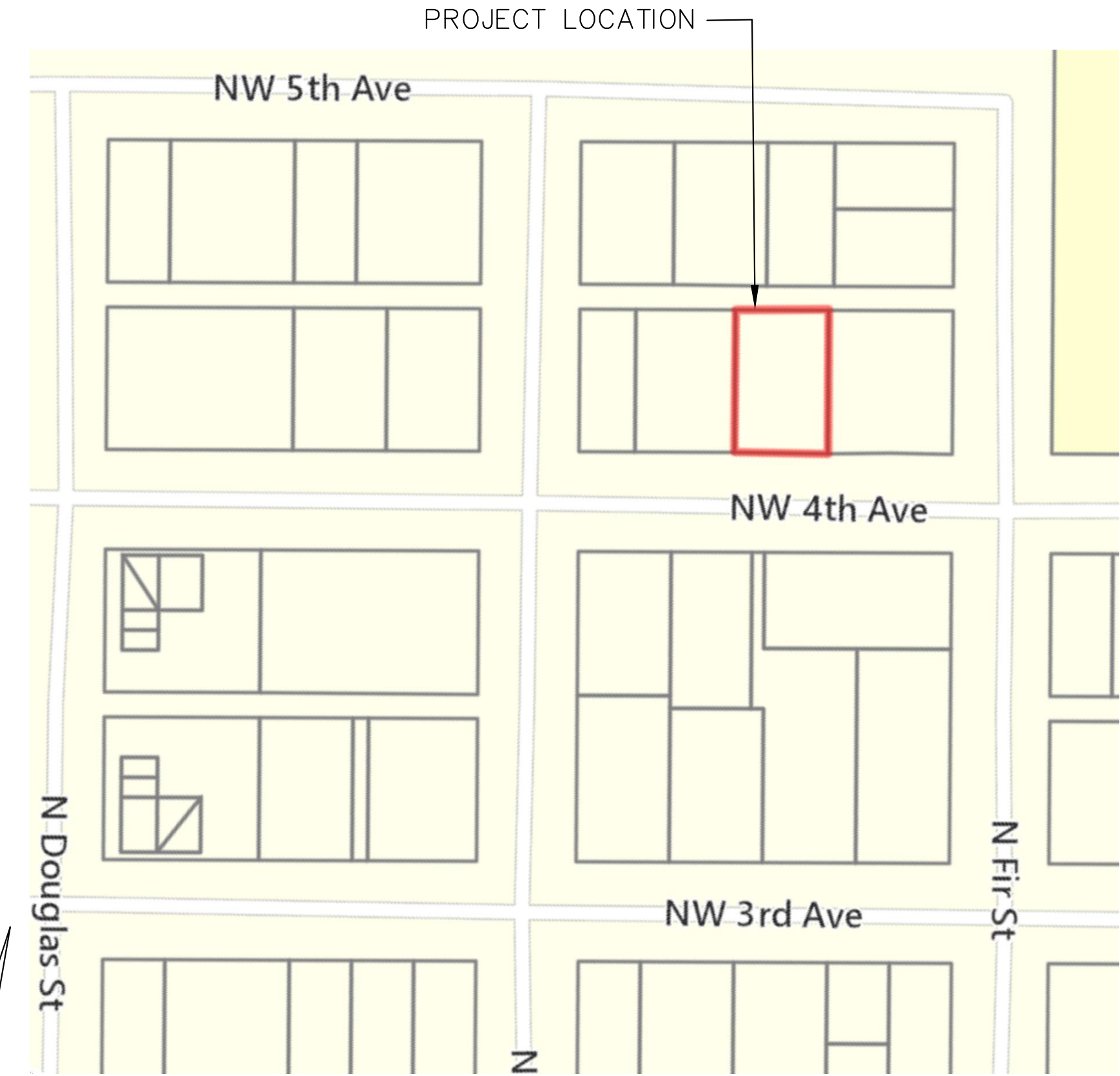
DETAILS - STREET & STORM
 4TH AVE MULTIFAMILY
 ENGINEERING PLANS

7
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EXPIRES: 06/30/23
 SIGNATURE DATE: 12/27/22



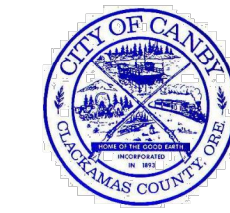
VICINITY MAP
SCALE: 1"=400'



SITE MAP
SCALE: 1"=100'

BURKE MULTI FAMILY

442 NW 4TH AVE. CANBY, OR 97013



CITY OF CANBY
PRE-CONSTRUCTION APPLICATION
SIGNATURE BLOCK

The Signature Block below needs to be on the Cover Page of your drawings. You can resize it, but make sure you give each entity enough room to sign. Please check with the Planning Department to see if additional signature lines are required. Thank you!

GENERAL NOTES:

- ALL WORK AND MATERIALS SHALL CONFORM TO THESE PLANS AND THE APPLICABLE PROVISIONS OF THE CITY OF STANDARDS. IMPROVEMENTS
- IN ORDER TO PROTECT UNDERGROUND FACILITIES, EXCAVATORS PERFORMING THE WORK SET FORTH ON THESE PLANS MUST COMPLY WITH THE PROVISIONS OF ORS 757.557 (REQUIRES CONTRACTOR TO NOTIFY THE OREGON UTILITY NOTIFICATION CENTER AT LEAST 48 HOURS, BUT NOT MORE THAN 10 BUSINESS DAYS, PRIOR TO ANY EXCAVATION).
- THE LOCATION OF EXISTING UTILITIES SHOWN ON THE PLANS IS APPROXIMATE AND SHOWN FOR INFORMATION PURPOSES ONLY. THE CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED PRIOR TO COMMENCING CONSTRUCTION. NOTIFY ENGINEER AND DTD, ENGINEERING OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION. ADDITIONAL UNDERGROUND UTILITIES MAY EXIST.
- VERTICAL DATUM: LOCAL NGS BENCHMARK RD2527 SEE NOTE 3 SHEET 2.
- TOPOGRAPHIC SURVEY BY ; CMT SURVEYING AND CONSULTING
- TRENCHES WITHIN OF RIGHTS-OF-WAY SHALL BE BACKFILLED PER CITY OF CANBY STANDARDS
- TRENCHES OUTSIDE OF RIGHTS-OF-WAY MAY BE BACKFILLED IN ACCORDANCE WITH NATIVE MATERIAL AND COMPACTION SPECIFICATIONS FOR ODOT/APWA CLASS A BACKFILL.
- VEGETATION AND TOPSOIL ARE TO BE STRIPPED TO MINERAL EARTH (AND INSPECTED BY THE CITY) PRIOR TO PLACEMENT OF FILL OR BASE MATERIALS.
- IN ADDITION TO ANY REQUIRED COMPACTION TESTING, THE COUNTY REQUIRES A PROOF ROLL WITH A FULLY LOADED 10-YARD DUMP TRUCK TO CHECK SUBGRADE COMPACTION PRIOR TO PLACEMENT OF ROCK SUBBASE AND AGAIN AT THE COMPLETION OF THE PLACEMENT OF THE BASE ROCK PRIOR TO PAVING THE FIRST LIFT OF ASPHALT.
- ASPHALTIC CONCRETE MIX IS TO BE BATCHED FROM A MIX FORMULA APPROVED BY THE CITY FOR MATERIAL USED. PAVING CONTRACTOR SHALL PROVIDE A CERTIFICATE OF COMPLIANCE FROM ASPHALT PAVEMENT PLANT.
- SUBSEQUENT SETTLEMENT OR CRACKING OF FINISHED SURFACE WITHIN THE WARRANTY PERIOD SHALL BE CONSIDERED TO BE A FAILURE OF THE SUBGRADE AND REPAIRED AT NO COST TO THE CITY AND IN A MANNER ACCEPTABLE TO THE CITY.
- THE CONTRACTOR SHALL CONTROL TRAFFIC THROUGH THE PROJECT SITE IN CONFORMANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, AND OREGON SUPPLEMENTS. THE CONTRACTOR SHALL, AT ALL TIMES, MAINTAIN LOCAL ACCESS FOR EMERGENCY VEHICLES, BUSINESSES, BUSES, AND HOMEOWNERS ALONG THE PROJECT SITE.
- THE CONTRACTOR AND/OR SUB-CONTRACTOR SHALL HAVE A MINIMUM OF ONE (1) SET OF APPROVED CONSTRUCTION PLANS ON THE JOB SITE AT ALL TIMES DURING THE CONSTRUCTION PHASES.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF TREES, STUMPS, BRUSH, ROOTS, TOPSOIL AND OTHER MATERIAL ENCOUNTERED DURING THE CONSTRUCTION OF THE ROADWAY AND WHERE INDICATED ON THE PLANS. MATERIAL SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, REGIONAL AND STATE REGULATIONS AT FACILITIES AUTHORIZED TO ACCEPT SUCH MATERIAL. CONTACT THE CLACKAMAS COUNTY COMMUNITY ENVIRONMENT SECTION AT (503) 742-4400 FOR DISPOSAL OPTIONS.
- CONTRACTOR SHALL COORDINATE AND SCHEDULE ALL EARTHWORK, TRENCH BACKFILL AND ROAD CONSTRUCTION COMPACTION TESTS, AND GEOTECHNICAL REVIEWS WITH THE SOILS TESTING LAB AS REQUIRED FOR ACCEPTANCE OF PROJECT WORK BY THE CITY OF CANBY.
- CONTRACTOR SHALL CAREFULLY MAINTAIN BENCHMARKS, PROPERTY CORNERS, MONUMENTS AND OTHER REFERENCE POINTS PURSUANT TO ORS 209.150.. IF SUCH POINTS ARE DISTURBED OR DESTROYED BY CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND PAY FOR THEIR REPLACEMENT BY EMPLOYING A PROFESSIONAL LAND SURVEYOR TO RESET PROPERTY CORNERS AND OTHER SUCH MONUMENTS.
- EXCESS EXCAVATED MATERIAL SHALL BE HAULED AND DISPOSED OF AT SITES PROVIDED BY THE OWNER AND APPROVED PURSUANT TO A CLACKAMAS COUNTY GRADING PERMIT. FILL SITES SHALL BE LEVELED AND GRADED TO DRAIN. THE CONTRACTOR SHALL CORRECT ANY FILL RELATED CONDITIONS.
- AT THE PRECONSTRUCTION MEETING, PRIOR TO BEGINNING WORK, THE CONTRACTOR SHALL PRESENT A LIST OF SUBCONTRACTORS, A PROJECT SCHEDULE, A TRAFFIC CONTROL PLAN AND A LIST OF AT LEAST 3 PEOPLE, WITH PHONE NUMBERS, RESPONSIBLE FOR MAINTAINING TRAFFIC CONTROL DURING NON-WORK PERIODS.

GENERAL NOTES CONT':

- FINAL CLEANUP – PRIOR TO FINAL ACCEPTANCE AND PAYMENT, THE CONTRACTOR SHALL CLEAN THE WORK SITE AND ADJACENT AREAS OF ANY DEBRIS, DISCARDED ASPHALTIC CONCRETE MATERIAL OR OTHER ITEMS DEPOSITED BY THE CONTRACTORS PERSONNEL DURING THE PERFORMANCE OF THIS CONTRACT.
- THE LOCATION OF ABOVE GROUND IMPROVEMENTS (EXISTING AND PROPOSED) SHALL NOT CONFLICT WITH THE REQUIRED SIDEWALK WIDTHS, ROADWAY IMPROVEMENTS, AND REQUIRED SIGHT DISTANCE.

PROPOSED LEGEND

	PROPOSED WATERLINE
	PROPOSED WATER METER
	PROPOSED STORM PIPE
	PROPOSED STORM DRYWELL
	PROPOSED SEWERLINE
	PROPOSED SEWER CLEANOUT
	PROPOSED CURB
	PROPOSED SAWCUT LINE
	PROPOSED CONCRETE WALK
	PROPOSED ASPHALT
	PROPOSED LANDSCAPING AREA
	PROPOSED FILTER STRIP
	PROPOSED MAJOR CONTOUR

SHEET INDEX

- COVER SHEET & NOTES
- EXISTING CONDITIONS & DEMO PLAN
- COMPOSITE SITE & UTILITY PLAN
- SITE GRADING & ESC PLAN
- ESC DETAILS & NOTES
- DETAILS – SEWER & WATER
- DETAILS – STREET & STORM

OWNER

BURKE DEVELOPMENT
1980 WILLAMETTE FALLS DRIVE SUITE 120
WEST LINN, OR 97068
PHONE: (503) 572-8522
EMAIL: admin@burkedevlopments.net

PROJECT ENGINEER

KELLI A. GROVER, P.E.
FIRWOOD DESIGN GROUP, LLC
359 E. HISTORIC COLUMBIA RIVER HWY.
TROUTDALE, OR 97060
PHONE: (503) 668-3737
EMAIL: kg@firwooddesign.com

PROJECT SURVEYOR

DAVID RODGER, PLS
CMT SURVEYING AND CONSULTING
20330 SE HIGHWAY 212
DAMASCUS, OR, 97089
PHONE: (503) 850-4590



EXPIRES: 06/30/23
SIGNATURE DATE: 04/26/23

9.19.22	1	AREAS ADDED
12.27.22	2	LANDSCAPE CHANGES
04.26.23	3	REAR PARKING CHANGES
DATE:	NO.	REVISION

DRAWN:	DESIGNED:	CHECKED:
SCALE: AS SHOWN	DATE: APRIL 2023	
PROJECT NO. E21-056		

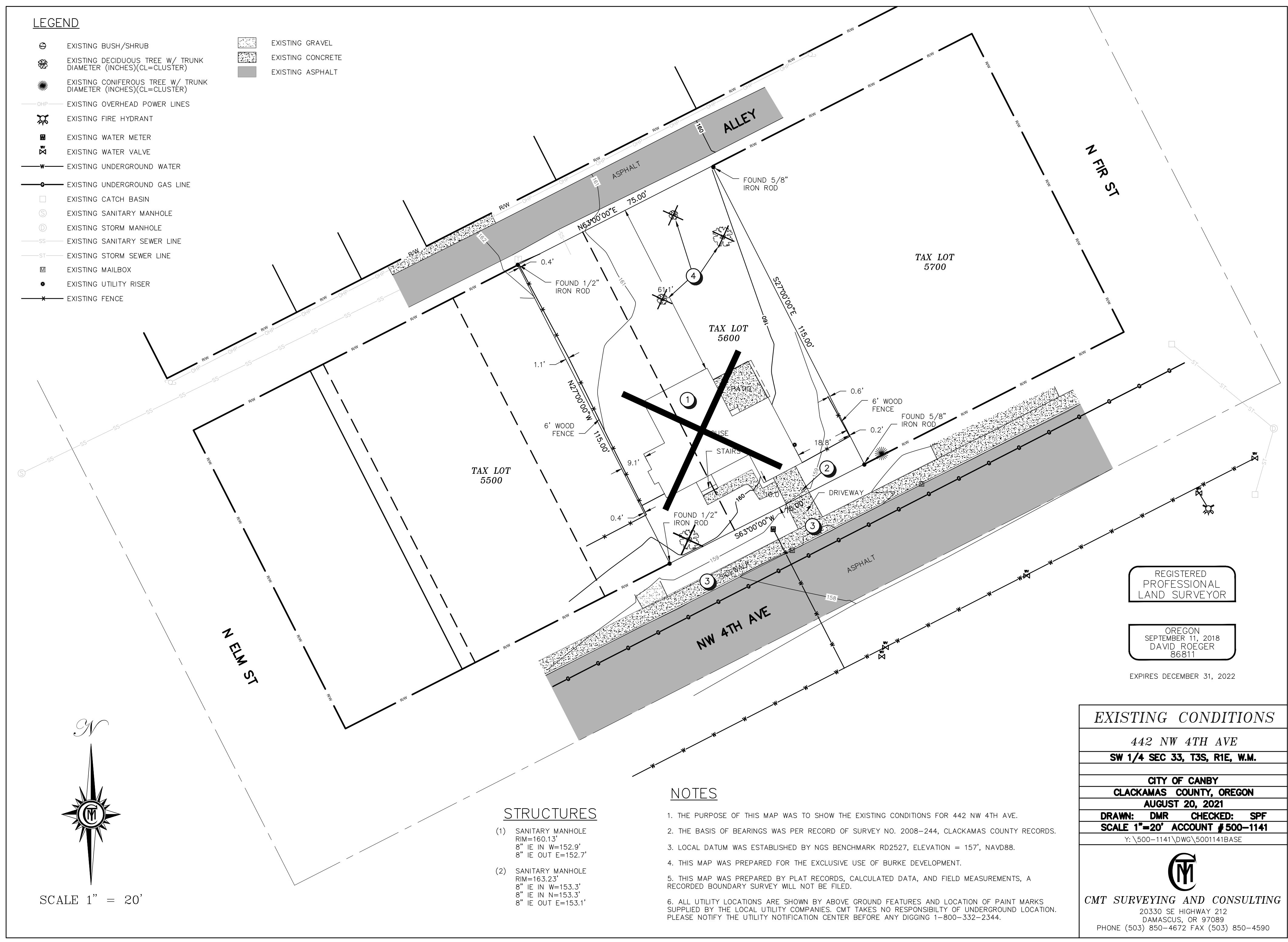
FIRWOOD DESIGN GROUP
Reliable Engineering Solutions
359 EAST HISTORIC COLUMBIA RIVER HIGHWAY
TROUTDALE, OREGON 97060
(503) 668-3737

DON BURKE
442 NW 4TH AVE
CANBY OR, 97013

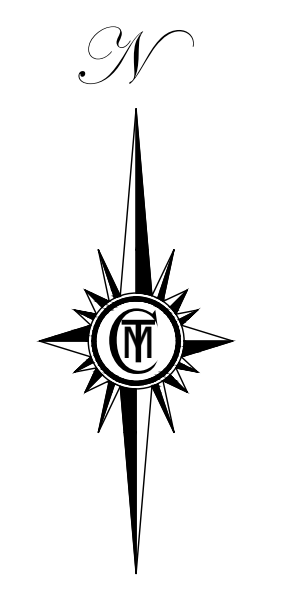
COVER SHEET & NOTES
4TH AVE MULTIFAMILY
ENGINEERING PLANS

LEGEND

- ⊙ EXISTING BUSH/SHRUB
- ⊙ EXISTING DECIDUOUS TREE W/ TRUNK DIAMETER (INCHES)(CL=CLUSTER)
- ⊙ EXISTING CONIFEROUS TREE W/ TRUNK DIAMETER (INCHES)(CL=CLUSTER)
- OHP — EXISTING OVERHEAD POWER LINES
- ⊙ EXISTING FIRE HYDRANT
- ⊙ EXISTING WATER METER
- ⊙ EXISTING WATER VALVE
- W — EXISTING UNDERGROUND WATER
- G — EXISTING UNDERGROUND GAS LINE
- EXISTING CATCH BASIN
- ⊙ EXISTING SANITARY MANHOLE
- ⊙ EXISTING STORM MANHOLE
- SS — EXISTING SANITARY SEWER LINE
- ST — EXISTING STORM SEWER LINE
- ⊙ EXISTING MAILBOX
- EXISTING UTILITY RISER
- F — EXISTING FENCE
- ▨ EXISTING GRAVEL
- ▨ EXISTING CONCRETE
- ▨ EXISTING ASPHALT



- DEMO NOTES**
- ① EXISTING HOUSE AND RELATED FEATURES TO BE DEMOLISHED UNDER CITY PERMIT.
 - ② EXISTING DRIVEWAY TO BE REMOVED
 - ③ EXISTING SIDEWALK TO BE REMOVED AS NECESSARY FOR PROPOSED DRIVEWAY APRONS. REMOVE IN COMPLETE PANELS.
 - ④ REMOVE ONSITE TREES (TYP)



SCALE 1" = 20'

STRUCTURES

- (1) SANITARY MANHOLE
RIM=160.13'
8" IE IN W=152.9'
8" IE OUT E=152.7'
- (2) SANITARY MANHOLE
RIM=163.23'
8" IE IN W=153.3'
8" IE IN N=153.3'
8" IE OUT E=153.1'

NOTES

1. THE PURPOSE OF THIS MAP WAS TO SHOW THE EXISTING CONDITIONS FOR 442 NW 4TH AVE.
2. THE BASIS OF BEARINGS WAS PER RECORD OF SURVEY NO. 2008-244, CLACKAMAS COUNTY RECORDS.
3. LOCAL DATUM WAS ESTABLISHED BY NGS BENCHMARK RD2527, ELEVATION = 157', NAVD88.
4. THIS MAP WAS PREPARED FOR THE EXCLUSIVE USE OF BURKE DEVELOPMENT.
5. THIS MAP WAS PREPARED BY PLAT RECORDS, CALCULATED DATA, AND FIELD MEASUREMENTS, A RECORDED BOUNDARY SURVEY WILL NOT BE FILED.
6. ALL UTILITY LOCATIONS ARE SHOWN BY ABOVE GROUND FEATURES AND LOCATION OF PAINT MARKS SUPPLIED BY THE LOCAL UTILITY COMPANIES. CMT TAKES NO RESPONSIBILITY OF UNDERGROUND LOCATION. PLEASE NOTIFY THE UTILITY NOTIFICATION CENTER BEFORE ANY DIGGING 1-800-332-2344.

REGISTERED PROFESSIONAL LAND SURVEYOR

OREGON
SEPTEMBER 11, 2018
DAVID ROEGER
86811
EXPIRES DECEMBER 31, 2022

EXISTING CONDITIONS

442 NW 4TH AVE
SW 1/4 SEC 33, T3S, R1E, W.M.
CITY OF CANBY
CLACKAMAS COUNTY, OREGON
AUGUST 20, 2021
DRAWN: DMR CHECKED: SPF
SCALE 1"=20' ACCOUNT # 500-1141
Y:\500-1141\DWG\5001141BASE



CMT SURVEYING AND CONSULTING
20330 SE HIGHWAY 212
DAMASCUS, OR 97089
PHONE (503) 850-4672 FAX (503) 850-4590

9.19.22	1	AREAS ADDED
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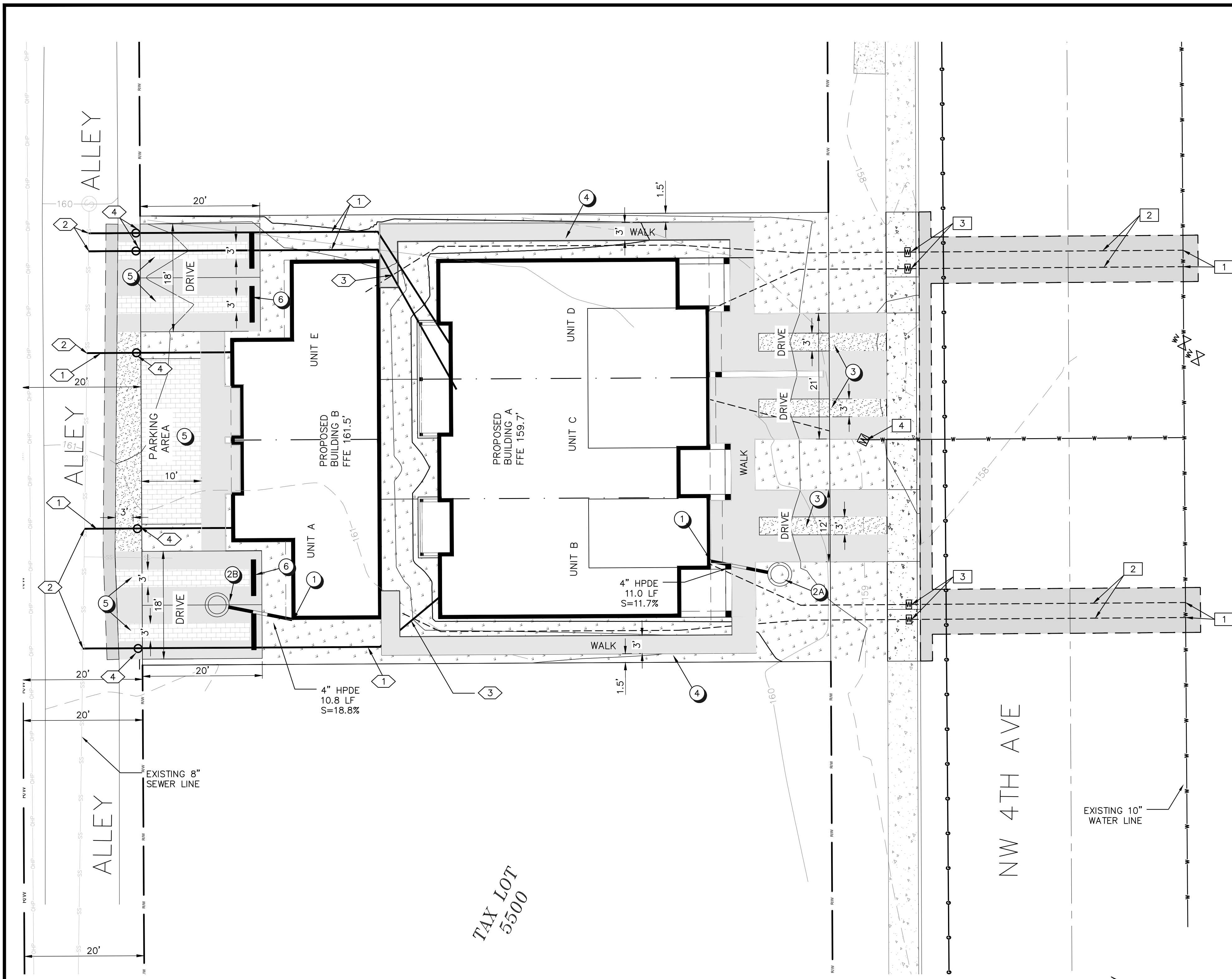
DRAWN:	DESIGNED:	CHECKED:
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359 EAST HISTORIC COLUMBIA RIVER HIGHWAY
TROUTDALE, OREGON 97060
(503) 668-3737

DON BURKE
442 NW 4TH AVE
CANBY OR, 97013

EXISTING CONDITIONS & DEMO PLAN
4TH AVE MULTIFAMILY
ENGINEERING PLANS



WATER NOTES

- 1 DIRECT TAPS ON EXISTING MAIN SHALL BE 1" MULLER 300 CORPORATION VALVE WITH COPPER COMPRESSION AND CO THREAD PER CANBY UTILITY DETAIL 003. THERE SHALL BE A 6" MIN SEPARATION BETWEEN LINES PER CANBY UTILITY DETAIL 002 AND 003. SEE DETAIL SHEET 6.
- 2 45.5 LF 1" WATER SERVICE LINES SHALL BE (SDR9) 1" MUNICIPEX, (CTS), CONFORMING TO AWWA C-904, ANSI/NSF 61, AND CANBY UTILITY SPECIFICATIONS. PER CANBY UTILITY DETAIL 003. SEE DETAIL SHEET 6
- 3 METER BOX TO BE DWF PLASTICS INC. DWF486WBC-12-1M WITH A MAGNETIC C-4M GREY SOLID METER BOX COVER. 11"x18" POLYMER. PER CANBY UTILITY DETAIL 003. SEE SHEET 6.
- 4 EXISTING PRIVATE WATER SERVICE TO UNIT C. LOCATE METER BOX AS DIRECTED BY THE CITY.

SANITARY SEWER NOTES

- 1 NEW 6" ASTM 3034 PVC SANITARY SEWER SERVICE AT 1% MIN PER CITY OF CANBY DETAIL 301. SEE DETAIL SHEET 6
- 2 NEW TAP ON EXISTING MAIN WITH ROMAC SADDLE PER CITY OF CANBY DETAIL 302 SEE DETAIL SHEET 6
- 3 WATER AND SANITARY SERVICE CROSSINGS TO HAVE A MINIMUM 18" VERTICAL SEPARATION.
- 4 CONSTRUCT CLEAN OUT AT PROPERTY LINE. SEE DETAIL SHEET 6

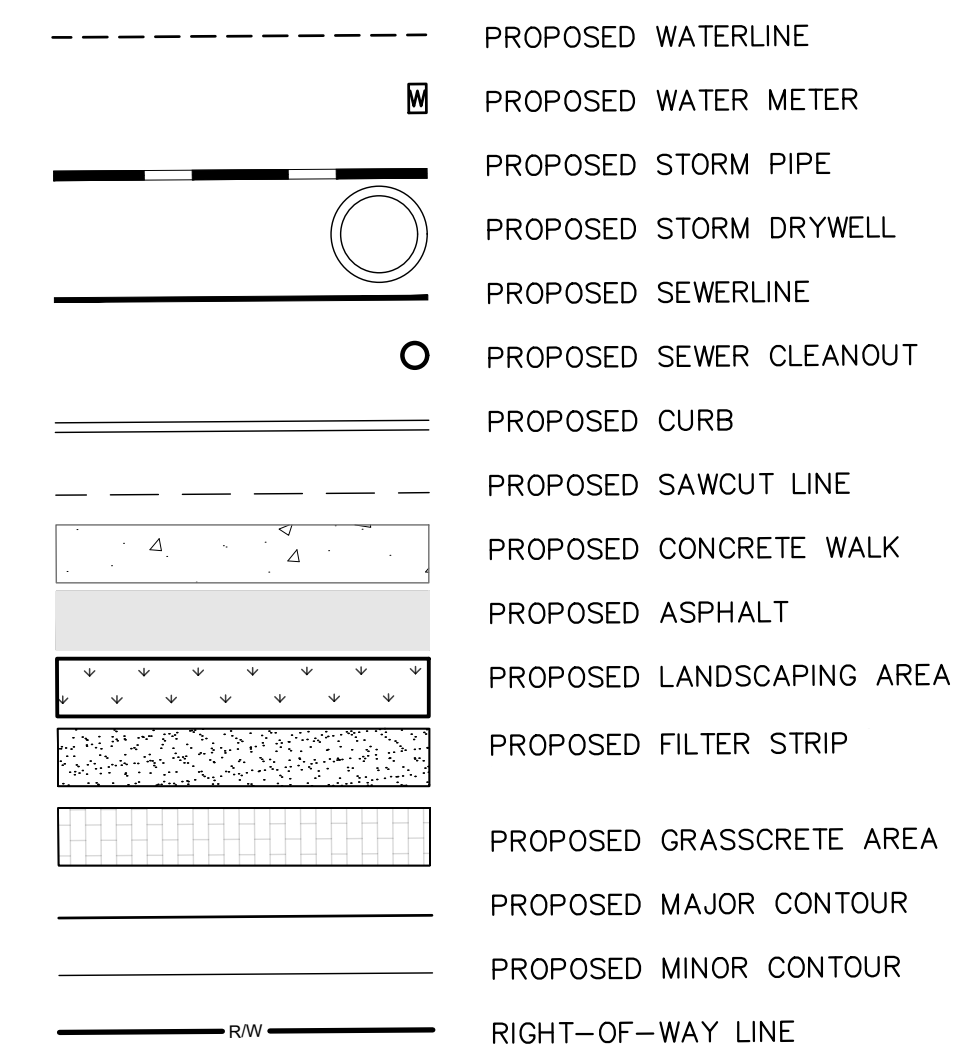
STORM NOTES

- 1 CONNECT ALL BUILDING DOWNSPOUTS TO 4" DRAIN PIPE TO BE ROUTED TO DRYWELL
- 2 (2) 48" DIAMETER DRYWELLS, 5' EFFECTIVE DEPTH, TO RECEIVE ROOF DRAINS ONLY. SEE DETAIL ON SHEET 7. OWNER SHALL REGISTER DRYWELLS WITH OREGON DEPARTMENT OF ENVIRONMENTAL QUALITY.
 - DRYWELL A:
RIM: 159.71'
4" IE IN: 157.38'
BASE ELEVATION OF STRUCTURE: 153.71'
 - DRYWELL B:
RIM: 161.59'
4" IE IN: 159.27'
BASE ELEVATION OF STRUCTURE: 155.59'
- 3 INSTALL 3' WIDE FILTER STRIPS ON CENTER OF EACH DRIVEWAY (TYP). GRADE DRIVEWAY TO LOW POINT ALONG CENTER OF FILTER STRIP. SEE DETAIL ON SHEET 7 AND GRADING PLAN SHEET 4
- 4 GRADE TO SHED STORMWATER TO SHOULDER.
- 5 INSTALL VOIDED GRASSCRETE IN ALL PARKING AND DRIVE AREAS. SEE DETAIL ON SHEET 7
- 6 INSTALL WHEEL STOP (TYPICAL). SEE DETAIL ON SHEET 7

GENERAL NOTES

- 1. ALL PRIVATE UTILITIES TO BE CONSTRUCTED WITH MATERIALS AND IN STALLED IN COMPLIANCE WITH CURRENT VERSION OF OREGON SPECIALITY PLUMBING CODE.

PROPOSED LEGEND

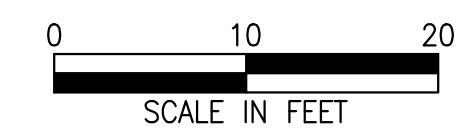


AREAS

TOTAL PROPERTY AREA:	8,625 SF
PROPOSED BUILDING AREA:	4,134 SF (47.9%)
PROPOSED LANDSCAPE AREA:	2543 SF (29.5%)
PROPOSED ASPHALT:	1777 SF (20.6%)
AREAS IN ROW	
PROPOSED LANDSCAPE:	681 SF
PROPOSED ASPHALT:	326 SF

LATERAL TABLE

UNIT	PIPE TYPE	LENGTH	SIZE	SLOPE	INVERT AT END	COVER AT END
A	ASTM 3034 PVC	10.6 LF	6"	26.3%	155.73	5.69'
B	ASTM 3034 PVC	11.0 LF	6"	7.5%	153.79	7.92'
C	ASTM 3034 PVC	9.7 LF	6"	6.2%	153.51	6.89'
D	ASTM 3034 PVC	9.6 LF	6"	6.6%	153.54	6.84'
E	ASTM 3034 PVC	10.0 LF	6"	27.0%	155.62	5.23'



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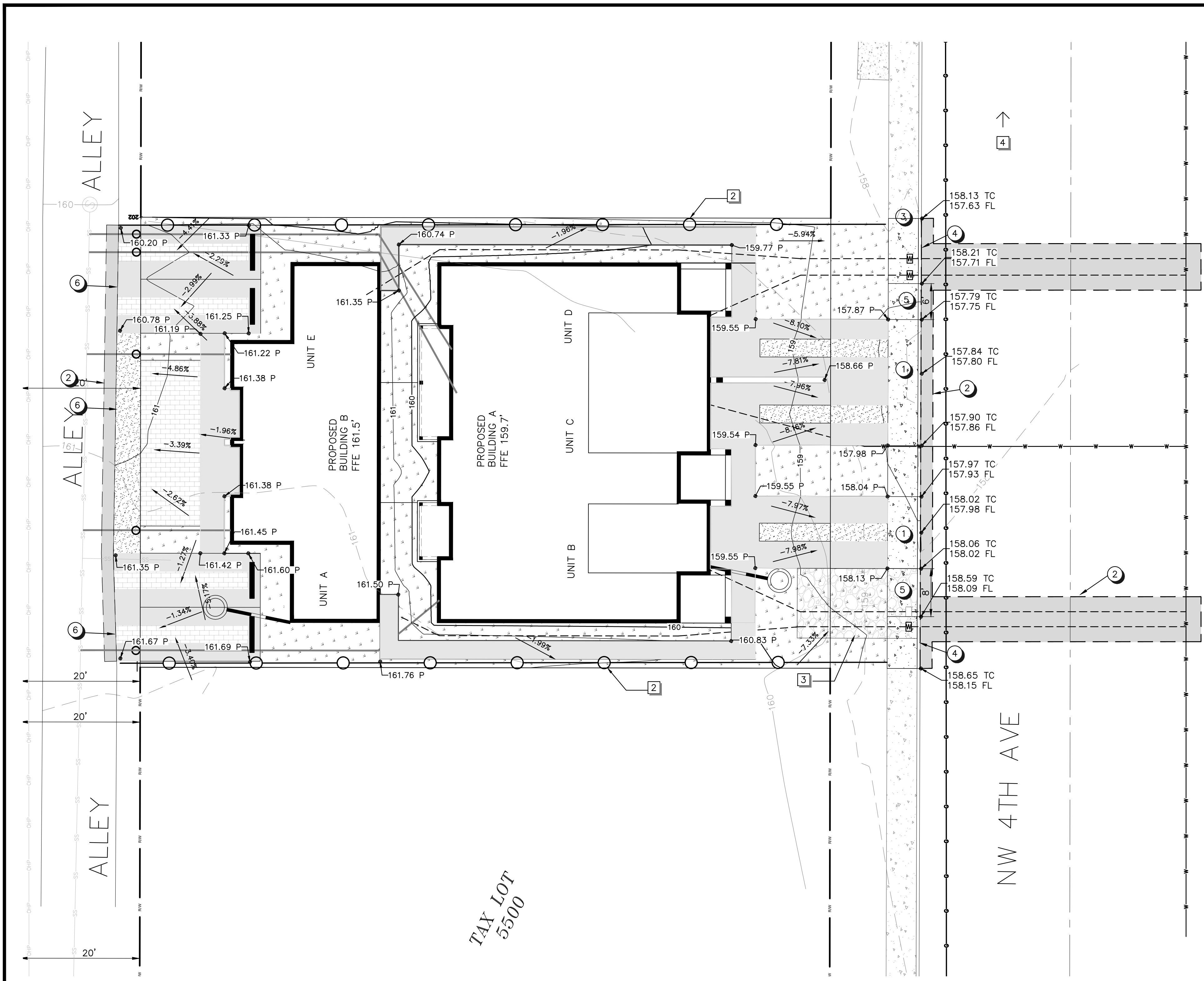
9.19.22	1	AREAS ADDED
12.27.22	2	LANDSCAPE CHANGES
04.26.23	3	REAR PARKING CHANGES
DATE:	NO.	REVISION

DRAWN:	DESIGNED:	CHECKED:
SCALE: AS SHOWN	DATE: APRIL 2023	
PROJECT NO. E21-056		

FIRWOOD DESIGN GROUP
Reliable Engineering Solutions
359 EAST HISTORIC COLUMBIA RIVER HIGHWAY
TROUTDALE, OREGON 97060
(503) 668-3737

DON BURKE
442 NW 4TH AVE
CANBY OR, 97013

COMPOSITE SITE & UTILITY PLAN
4TH AVE MULTIFAMILY
ENGINEERING PLANS



EROSION CONTROL KEY NOTES

- 1 CB INSERT INLET PROTECTION FOR AREA DRAIN TYPE CATCH BASIN, SEE DETAILS ON SHEET 7 (TYPICAL)
- 2 TEMPORARY SILT FENCING, SEE DETAIL ON SHEET 7, ADJUST SILT FENCING AS NECESSARY DURING CONSTRUCTION, (TYPICAL)
- 3 CONSTRUCTION ENTRANCE, SEE DETAIL SHEET 7
- 4 PROVIDE TEMPORARY INLET PROTECTION ON ALL STORMWATER INLETS WITHIN 250 LF DOWNSTREAM OF THE PROJECT SITE, SEE DETAIL SHEET 6

GRADING KEY NOTES

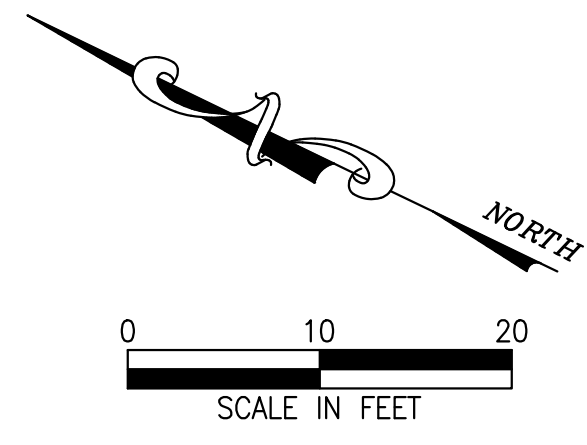
- 1 PROPOSED CONCRETE DRIVEWAY APPROACHES. KNOCK OUT EXISTING CURB ALONG FULL EXTENT OF PROPERTY FRONTAGE. SEE DETAILED GRADING CALLOUTS IN PLAN THIS SHEET AND CITY DETAIL 106 FOR RESIDENTIAL DRIVEWAY ON SHEET 6.
- 2 PROPOSED SAWCUT LINE. CUT MIN 2' BEYOND EXISTING GUTTER LINE. SAWCUT AND AC PAVEMENT RESTORATION PER CITY PUBLIC WORKS STANDARDS.
- 3 5' WIDE SIDEWALK TO REPLACE EXISTING SIDEWALK FULL EXTENT OF PROPERTY FRONTAGE, PER CITY DETAIL 103 ON SHEET 7
- 4 6" EXPOSURE CURB AND GUTTER PER CITY DETAIL 101 ON SHEET 6.
- 5 SIDEWALK RAMP ON EITHER SIDE OF DRIVEWAYS WITH CURB TRANSITION FROM 6" EXPOSURE TO 1/2" LIP.
- 6 DRIVEWAY TO MATCH EXISTING PAVEMENT AT ALLEY

SPOT ELEVATION DESCRIPTION

FFE = FINISH FLOOR ELEVATION
P = PROPOSED PAVEMENT
TC = TOP OF CURB
FL = FLOWLINE

ESTIMATED INPLACE QUANTITIES

TOTAL CUT: 81 CY
TOTAL FILL: 75 CY
QUANTITY ESTIMATE DOES NOT INCLUDE TRENCH SPOILS OR EXCAVATION UNDER BUILDINGS



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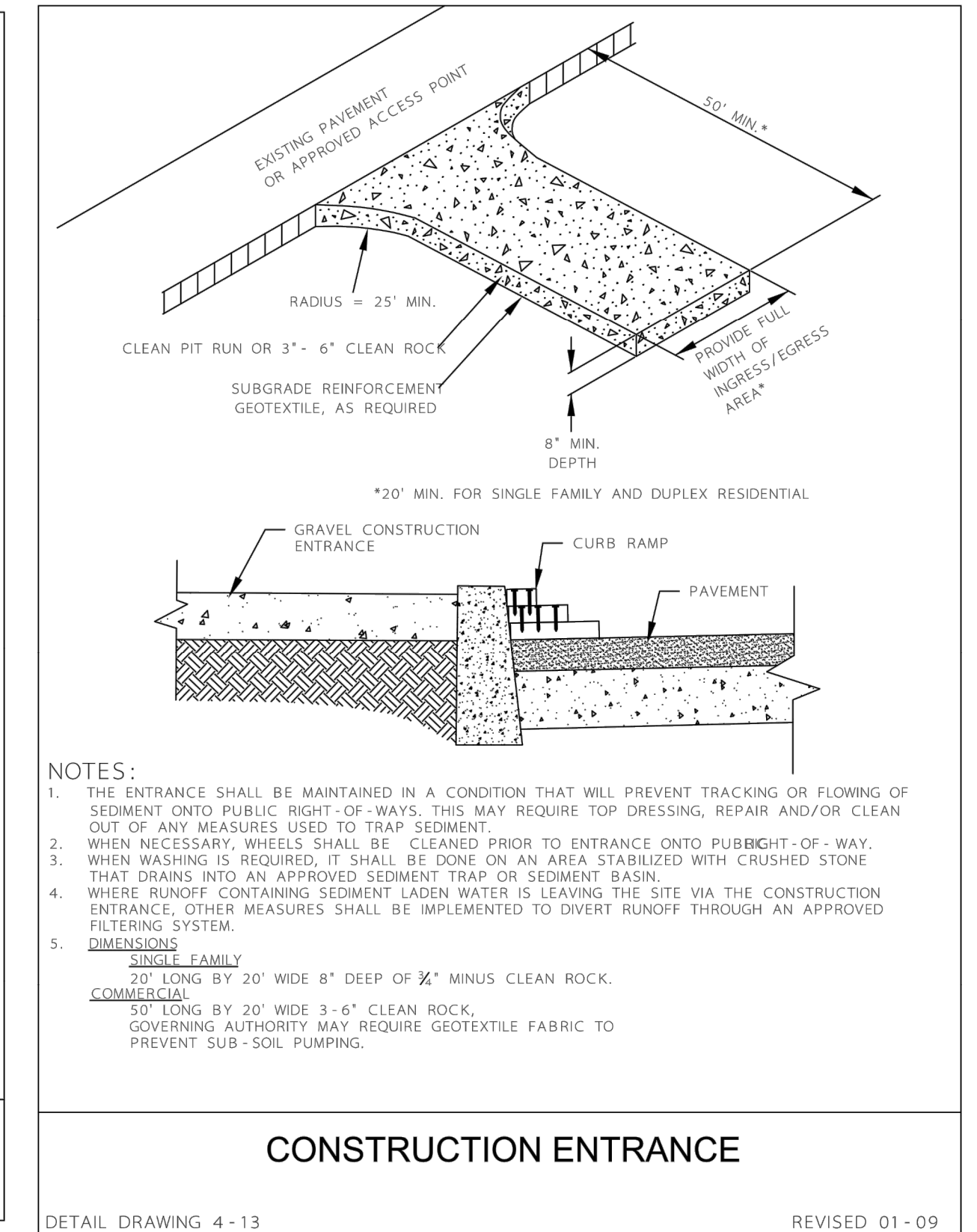
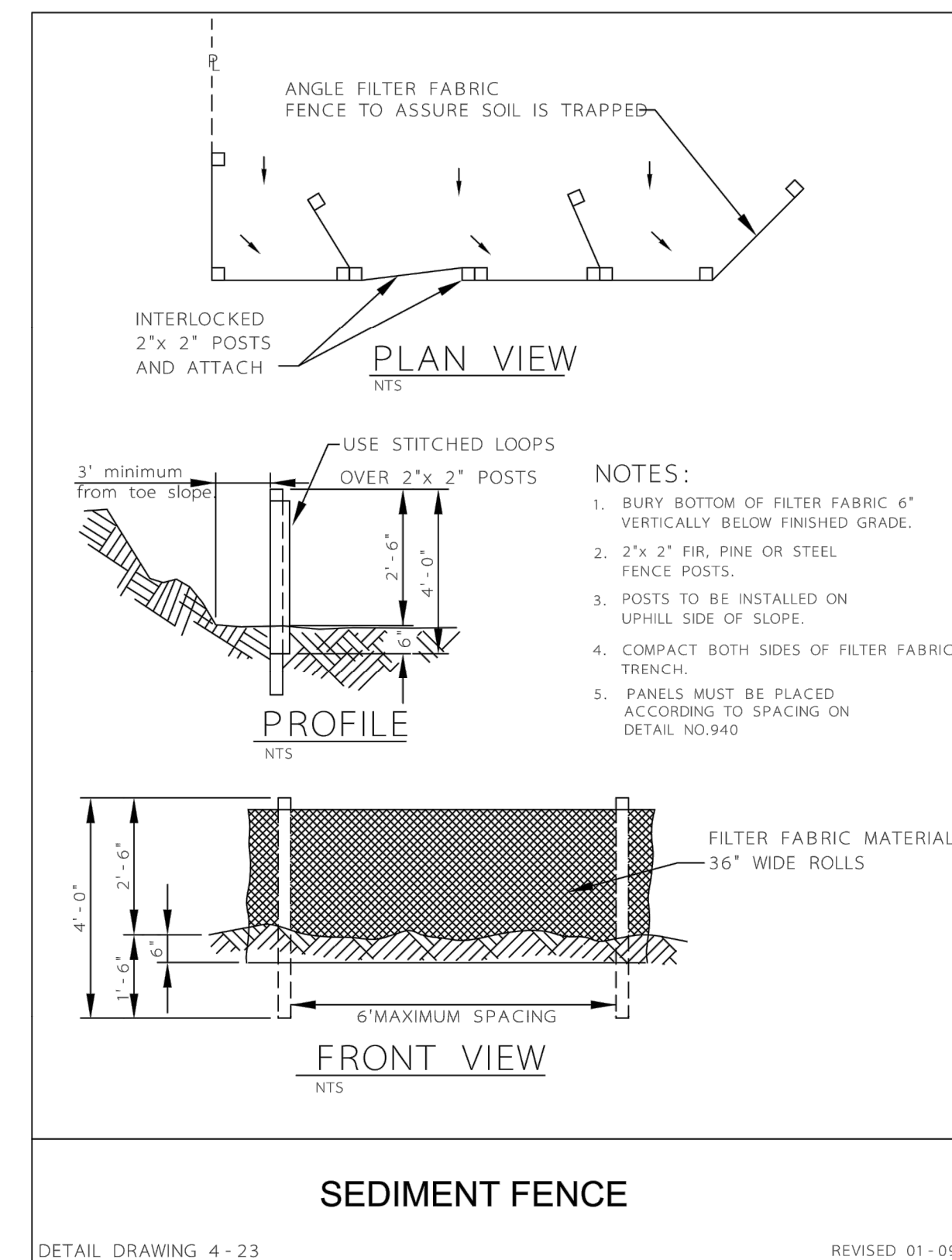
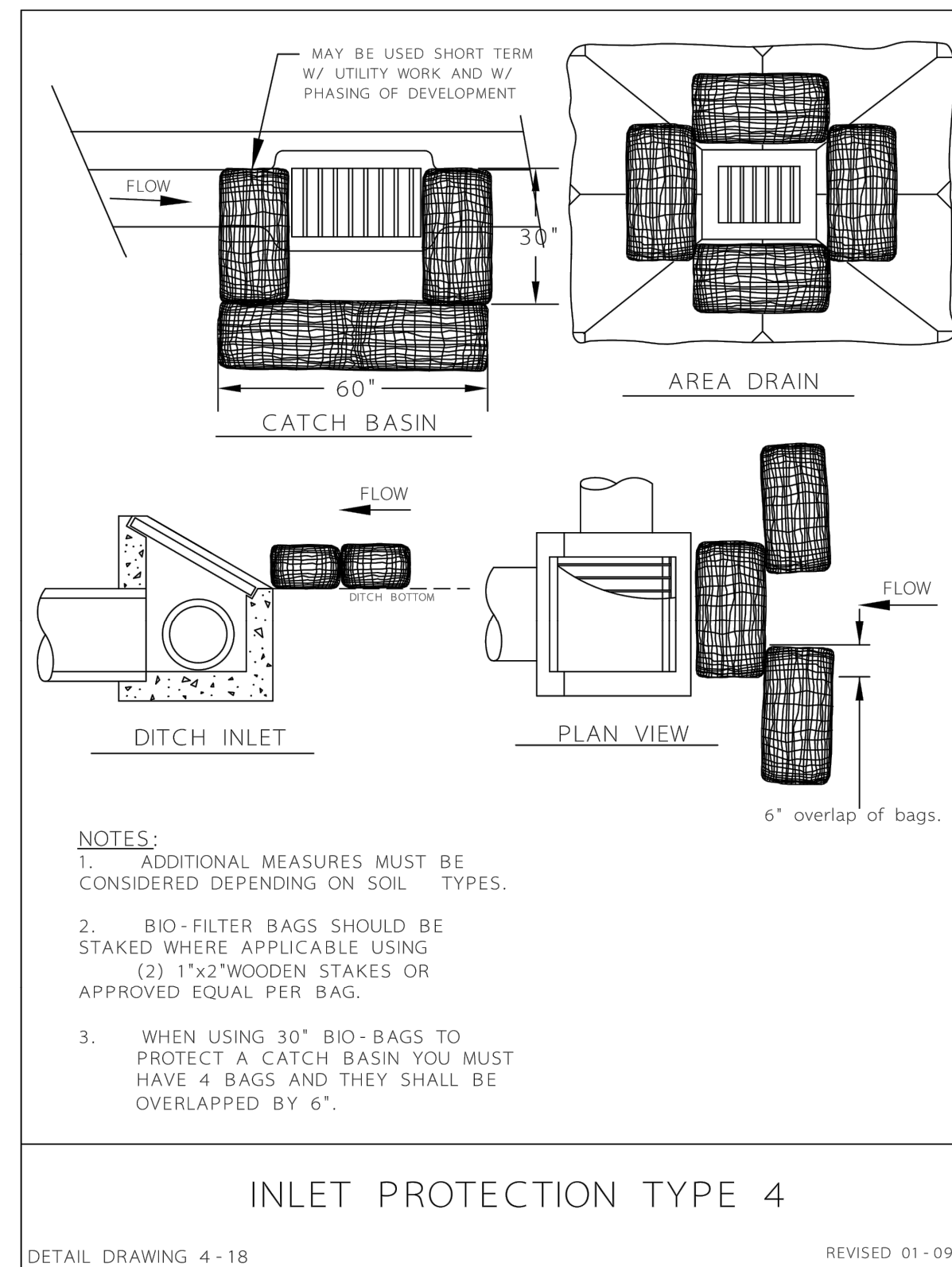
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TROUTDALE, OREGON 97060
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442 NW 4TH AVE
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SITE GRADING & ESC PLAN
4TH AVE MULTIFAMILY
ENGINEERING PLANS

EROSION CONTROL NOTES

- Owner or designated person shall be responsible for proper installation and maintenance of all erosion and sediment control (ESC) measures, in accordance with local, State, and Federal regulations.
- The implementation of these ESC plans and construction, maintenance, replacement, and upgrading of these ESC facilities is the responsibility of the contractor until all construction is completed and approved by the local jurisdiction, and vegetation/landscaping is established. The developer shall be responsible for maintenance after the project is approved until the lots are sold.
- The boundaries of the clearing limits shown on this plan shall be clearly marked in the field prior to construction. During the construction period, no disturbance beyond the clearing limits shall be permitted. The markings shall be maintained by the applicant/contractor for the duration of construction.
- The ESC facilities shown on this plan must be constructed in conjunction with all clearing and grading activities, and in such a manner as to insure that sediment and sediment laden water does not enter the drainage system, roadways, or violate applicable water standards.
- The ESC facilities shown on this plan are minimum requirements for anticipated site conditions. During construction period, these ESC facilities shall be upgraded as needed for unexpected storm events and to ensure that sediment and sediment laden water does not leave the site.
- The ESC facilities shall be inspected daily by the applicant/contractor and maintained as necessary to ensure their continued functioning.
- At no time shall sediment be allowed to accumulate more than 1/3 the barrier height. All catch basins and conveyance lines shall be cleaned prior to paving. The cleaning operations shall not flush sediment laden water into the downstream system.
- Stabilized gravel entrances shall be installed at the beginning of construction and maintained for the duration of the project. Additional measures may be required to insure that all paved areas are kept clean for the duration of the project.
- Storm drains inlets, basins, and area drains shall be protected until pavement surfaces are completed and/or vegetation is re-established.
- Pavement surfaces and vegetation are to be placed as rapidly as possible.
- Seeding shall be performed no later than September 1 for each phase of construction.
- If there are exposed soils or soils not fully established from October 1st through April 30th, the wet weather erosion prevention measures will be in effect. See the Erosion Prevention and Sediment Control Planning and Design Manual (Chapter 4) for requirements.
- The developer shall remove ESC measures when vegetation is fully established.



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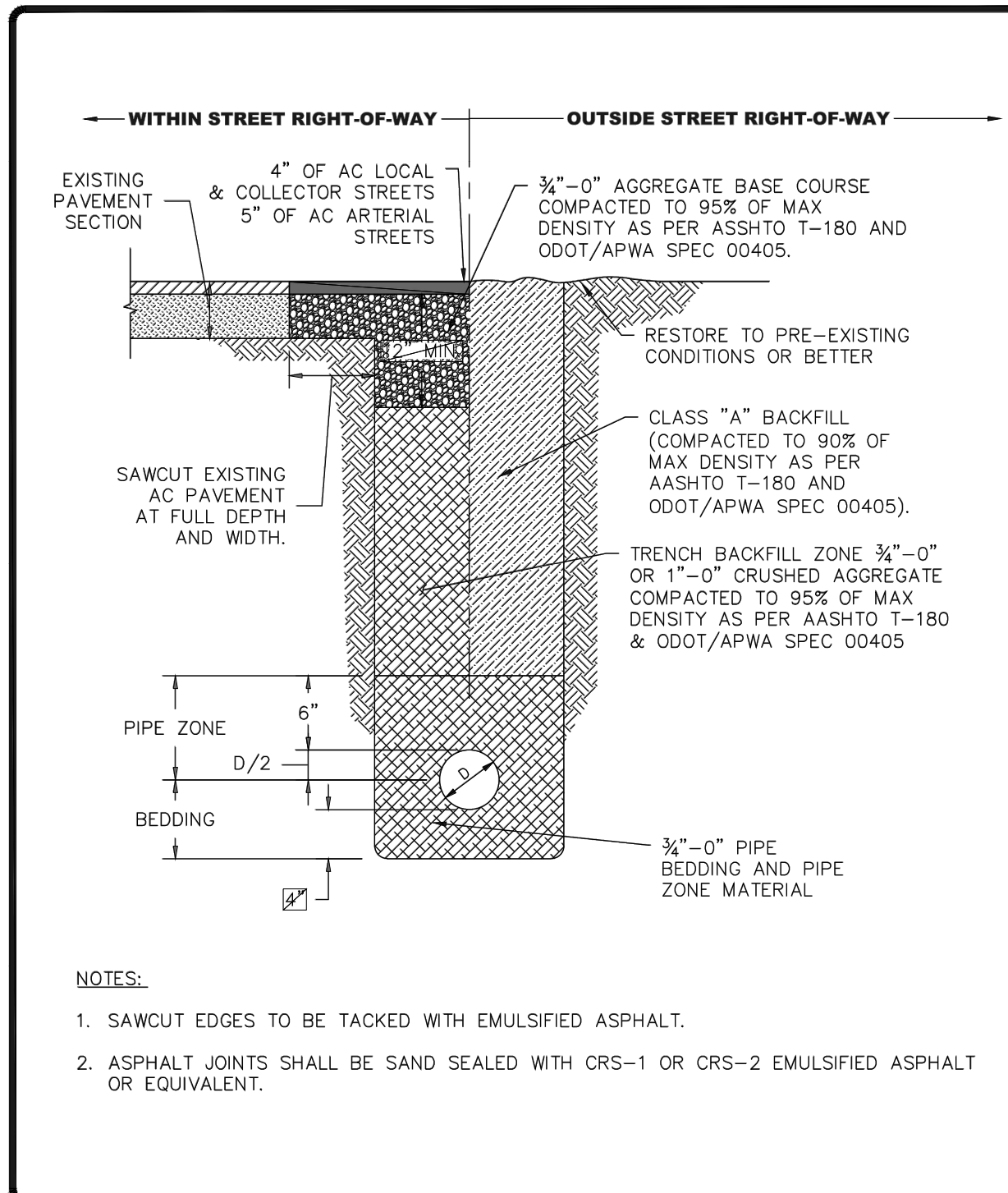
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ESC DETAILS & NOTES
4TH AVE MULTIFAMILY
ENGINEERING PLANS

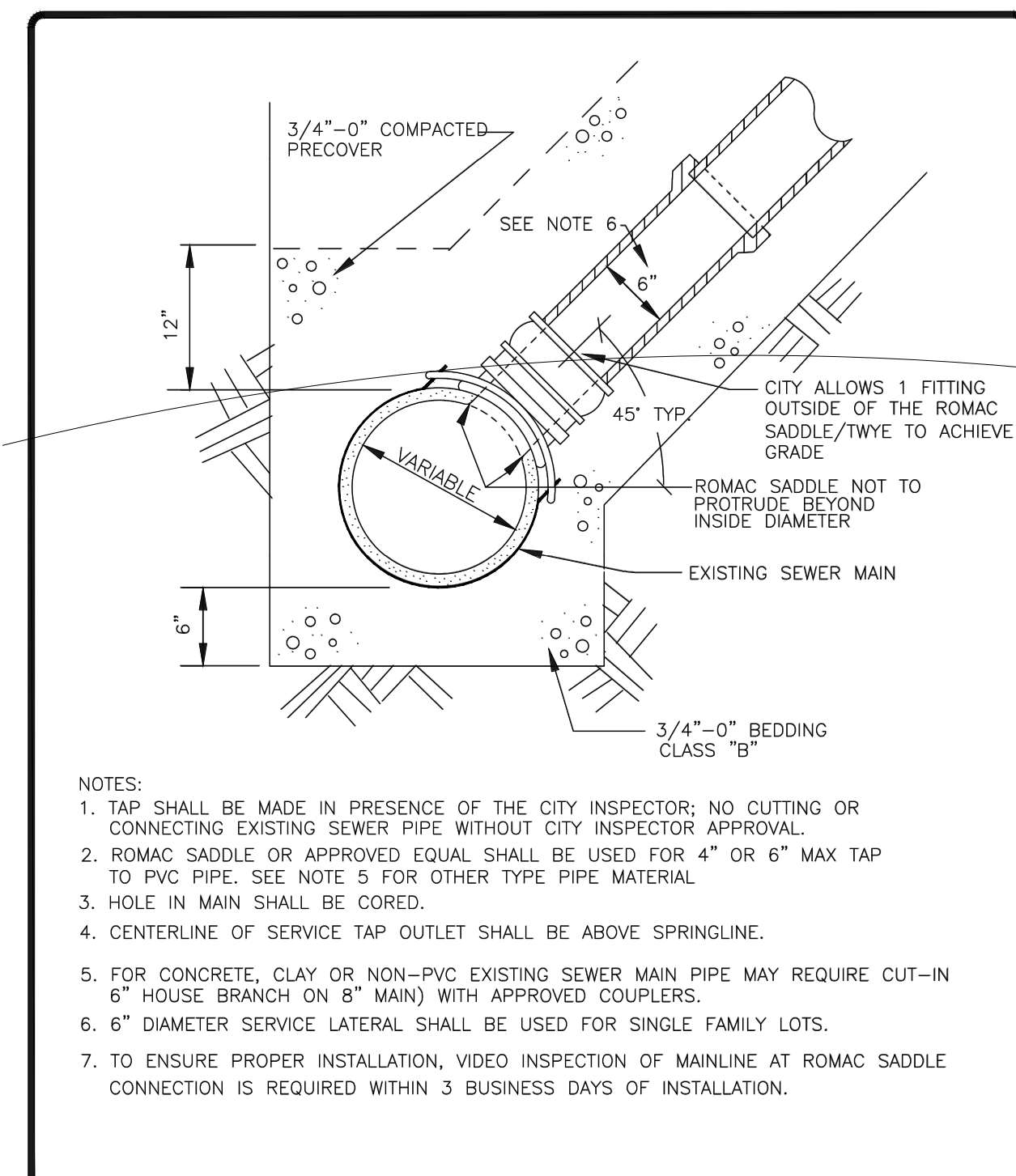


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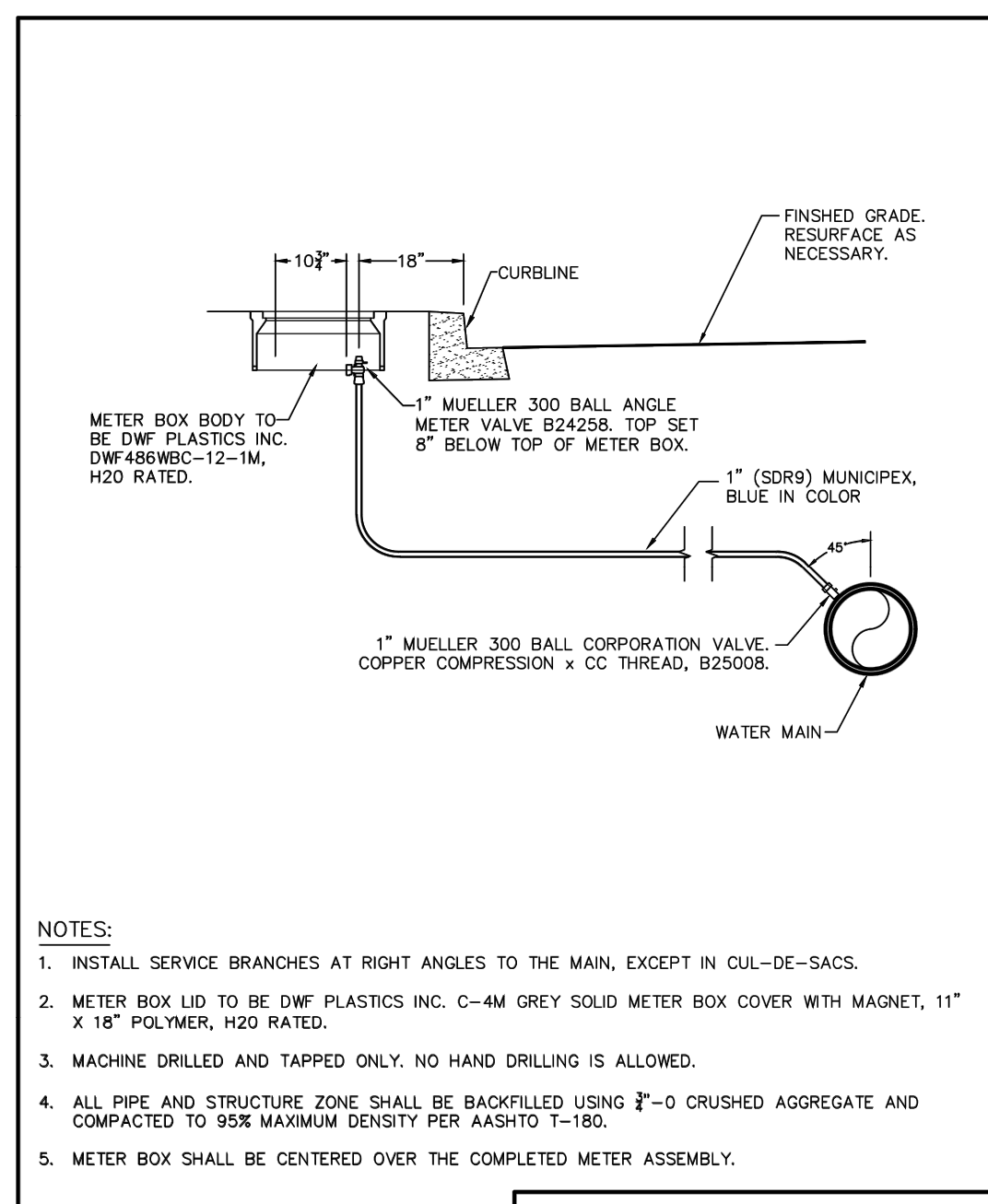
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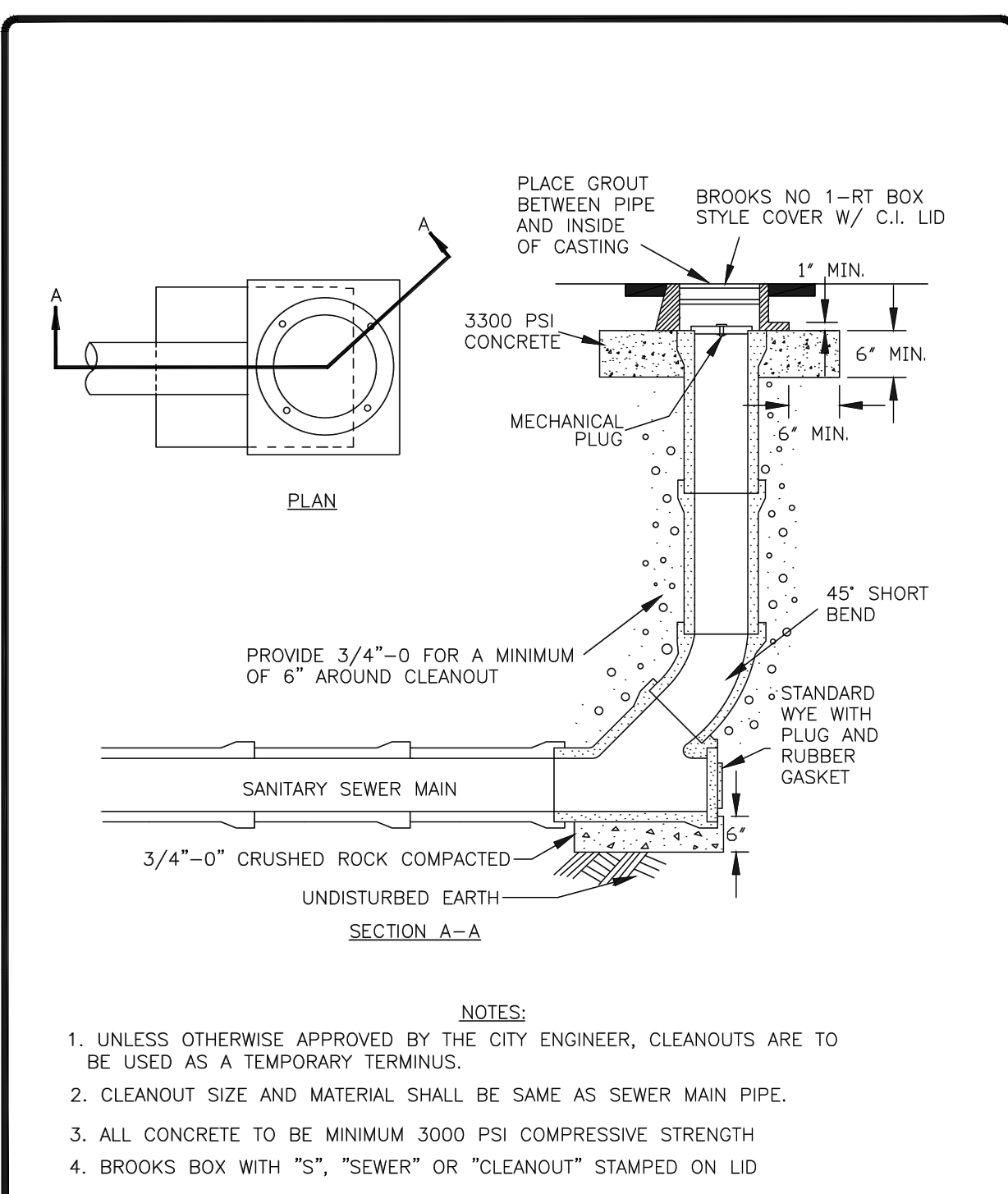
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TRENCH DETAIL			
BY: JT	DATE: 12-06-19	DWGNO: 210	



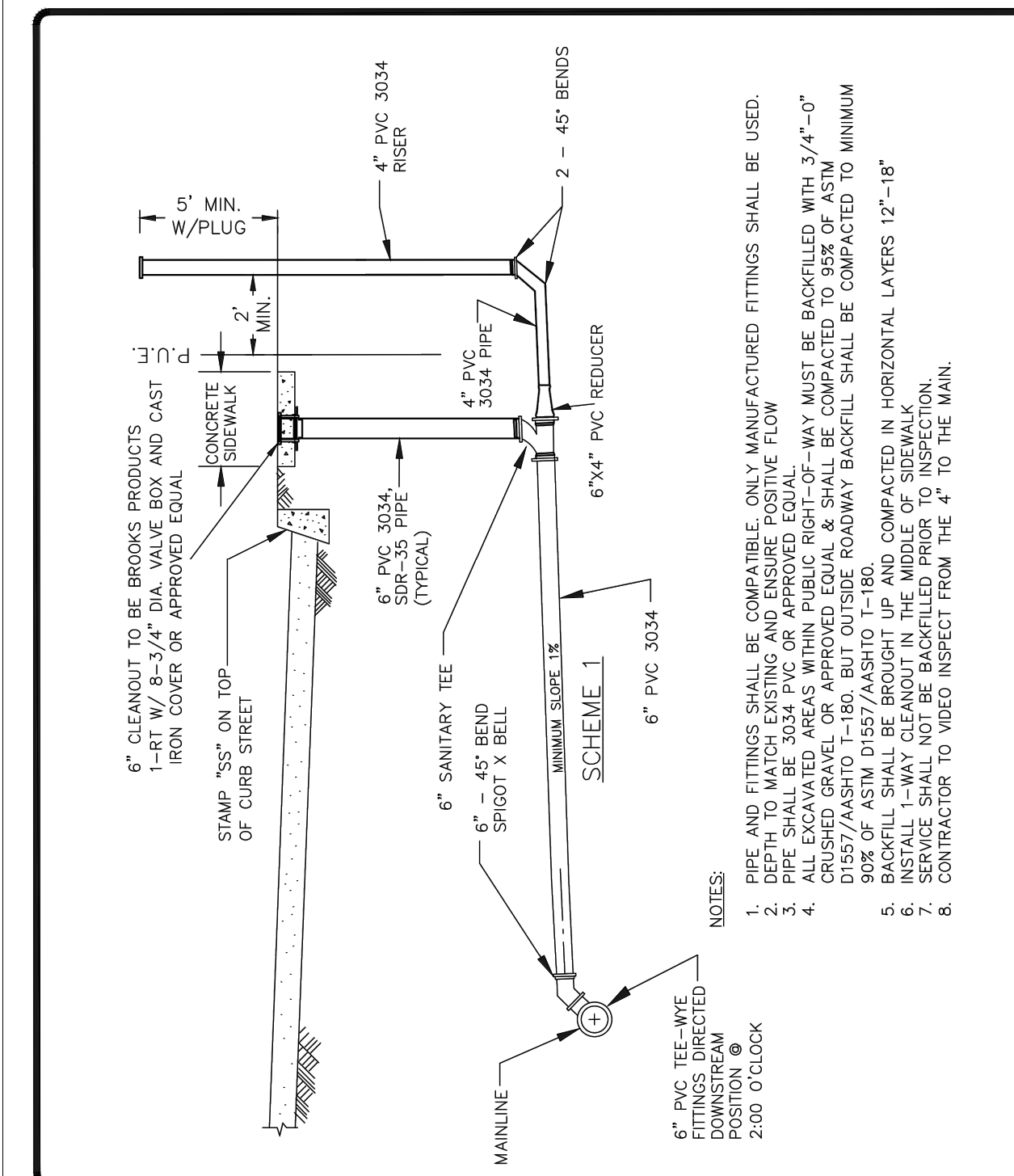
CITY OF CANBY			
SANITARY SEWER SERVICE TAP TO EXISTING SEWERS			
BY: JT	DATE: 12-06-19	DWGNO: 302	



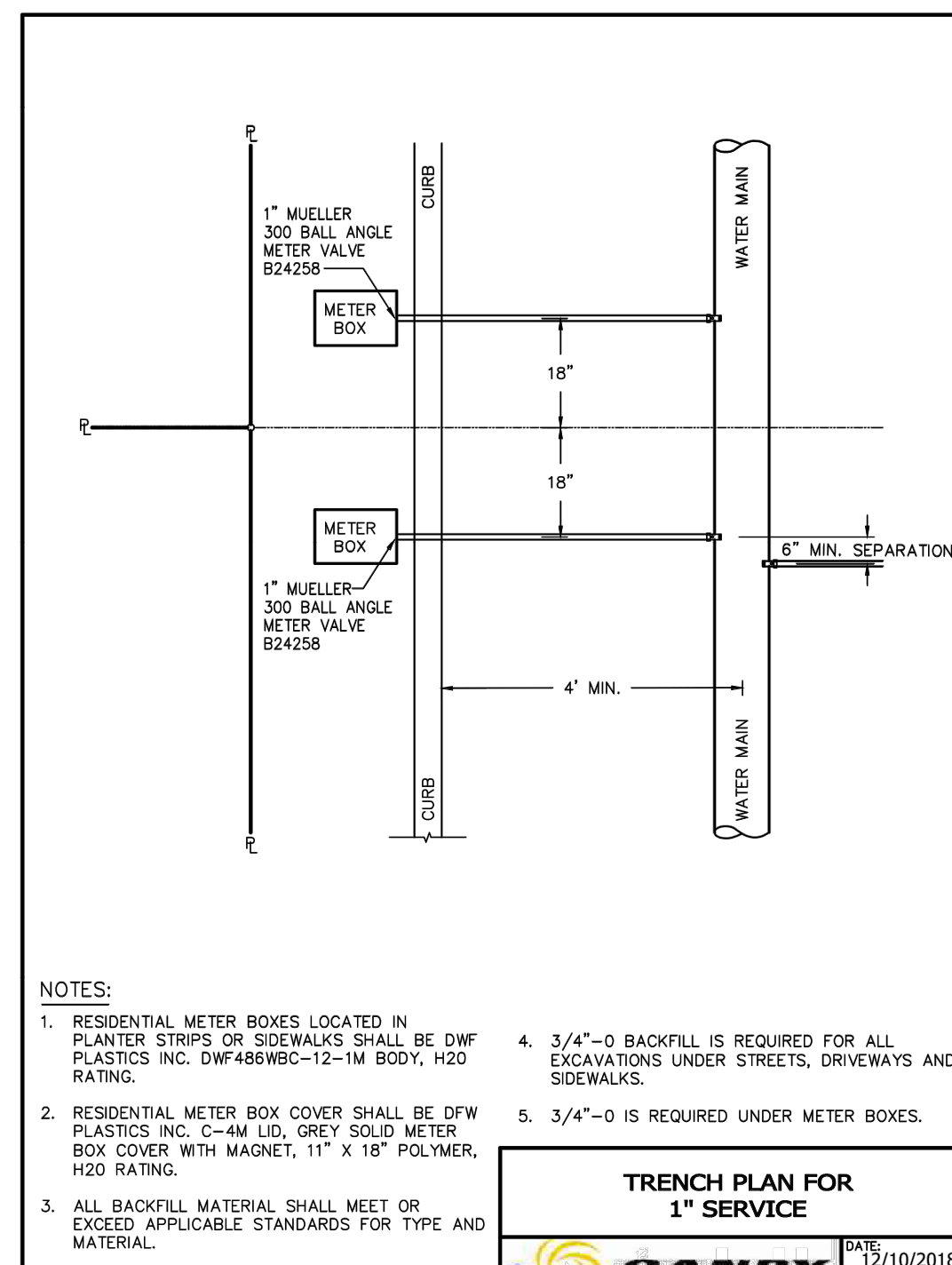
CITY OF CANBY			
1\"/> 			
DATE: 12/10/2018	DRAWING NO: 003		



CITY OF CANBY			
SANITARY SEWER CLEAN-OUT			
BY: JT	DATE: 12-06-19	DWGNO: 303	



CITY OF CANBY			
SANITARY SEWER LATERAL			
BY: JT	DATE: 6-02-21	DWGNO: 301	



CITY OF CANBY			
TRENCH PLAN FOR 1\"/> 			
DATE: 12/10/2018	DRAWING NO: 002		



EXPIRES: 06/30/23
SIGNATURE DATE: 04/26/23

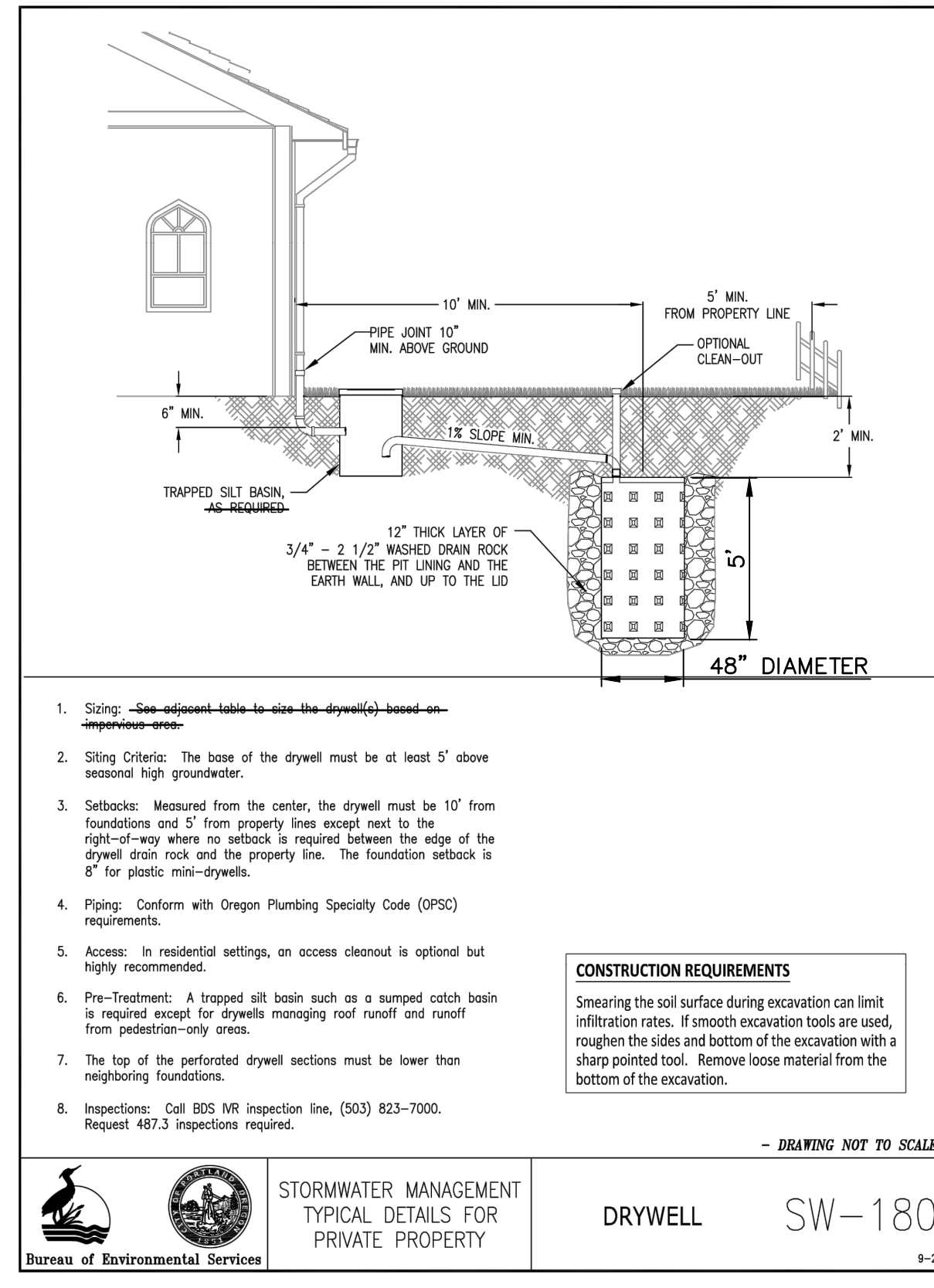
9.19.22	1	AREAS ADDED	DRAWN:	DESIGNED:	CHECKED:
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04.26.23	3	REAR PARKING CHANGES	PROJECT NO. E21-056		
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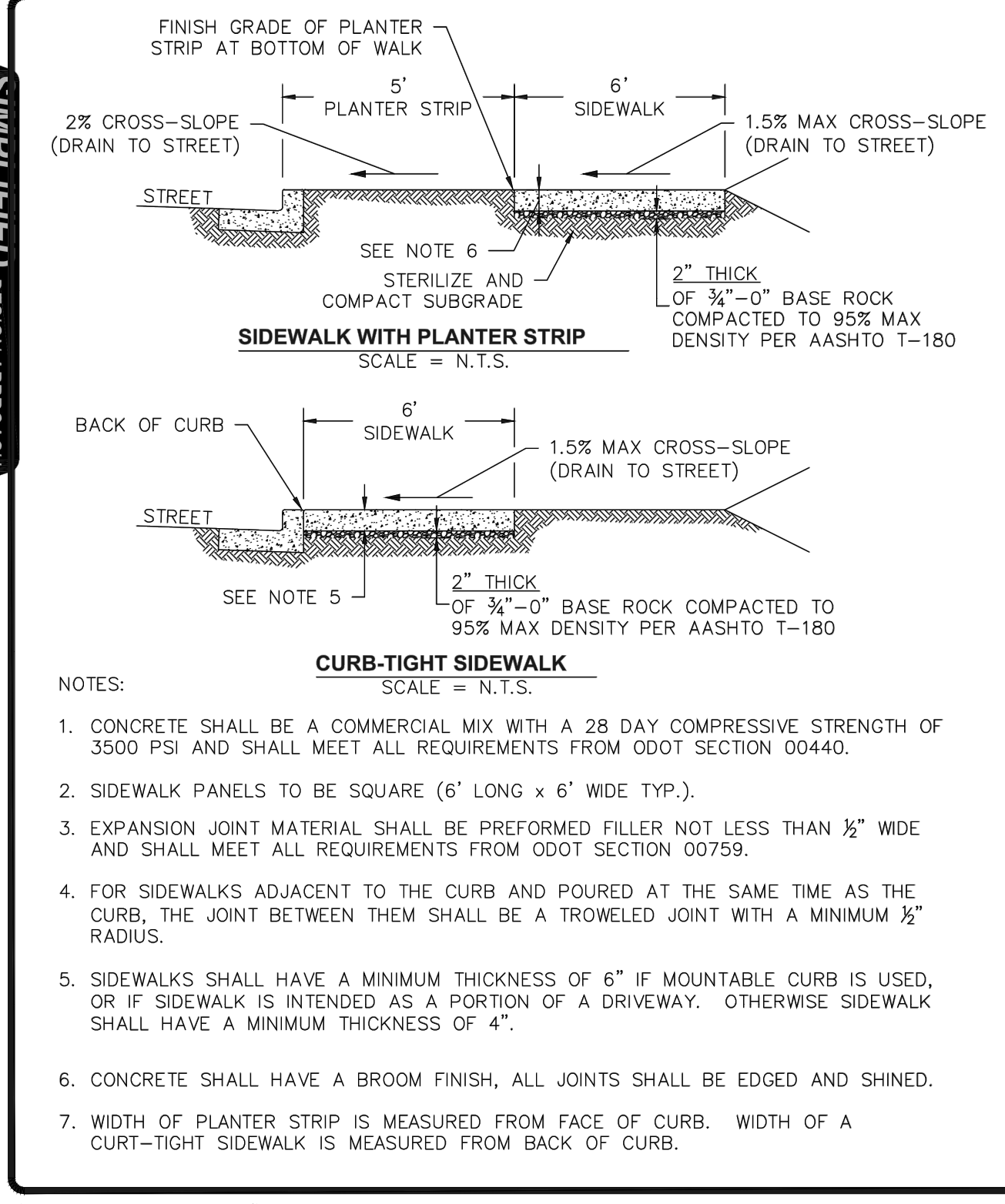
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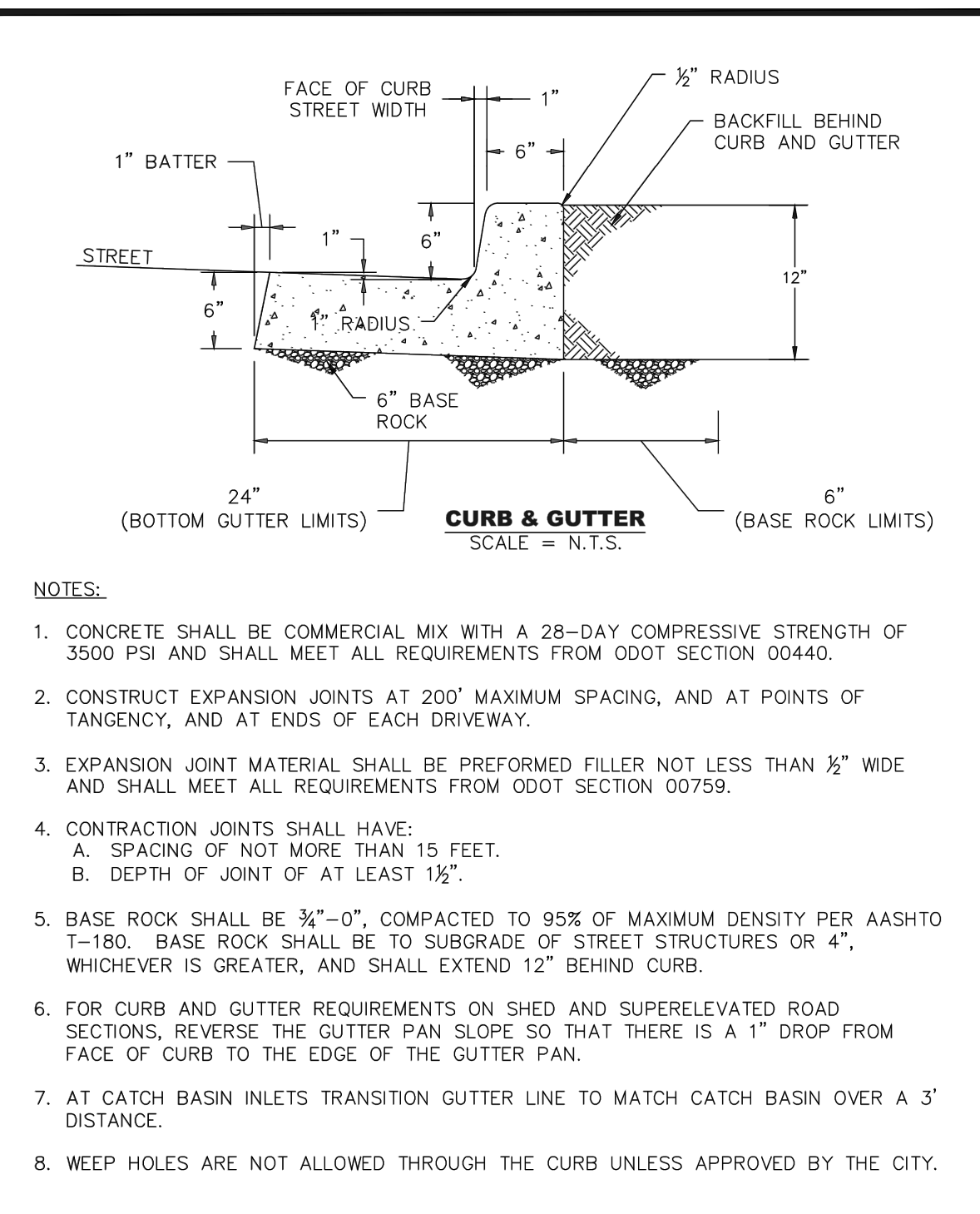
DETAILS - SEWER & WATER
4TH AVE MULTIFAMILY
ENGINEERING PLANS



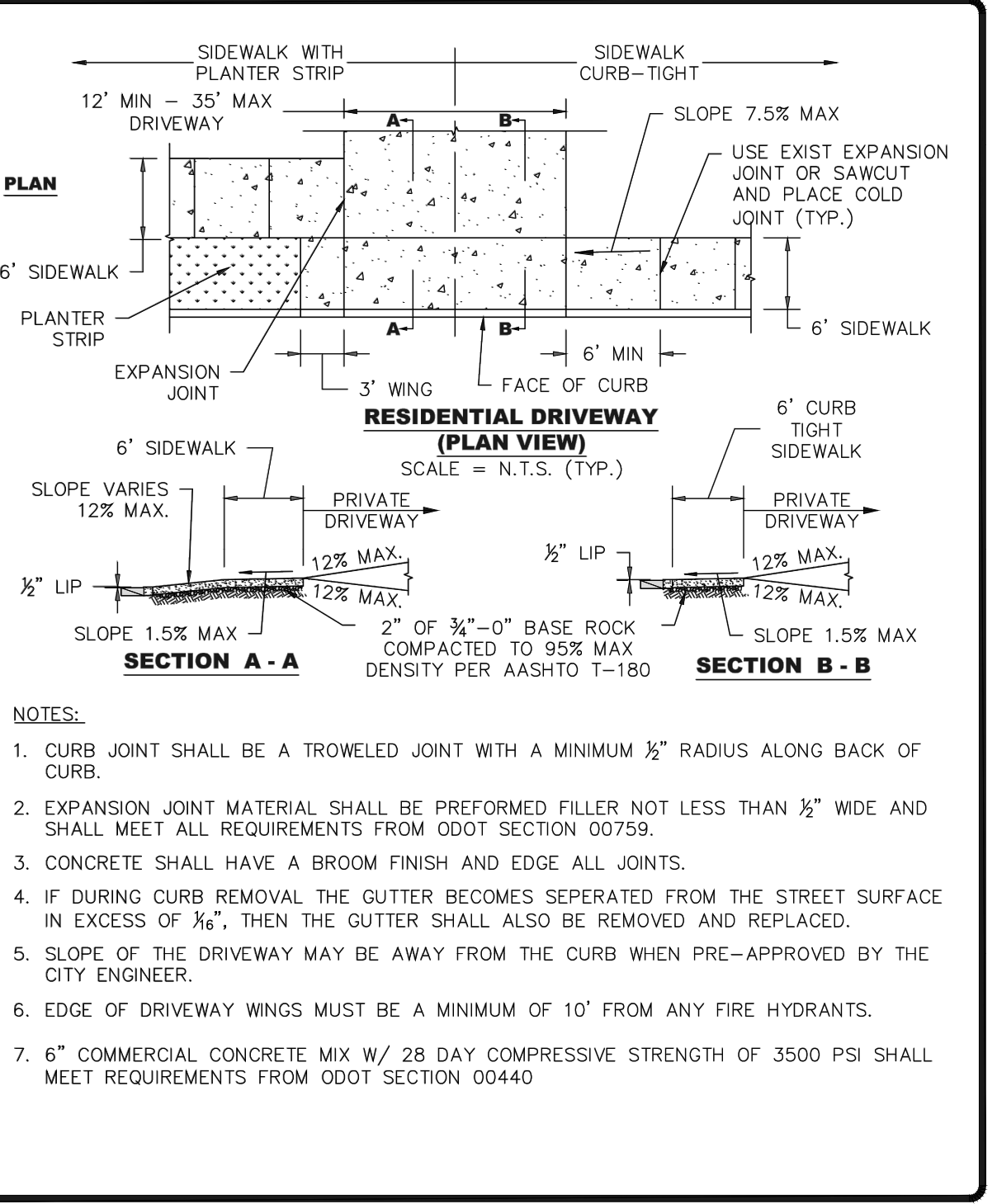
Bureau of Environmental Services		STORMWATER MANAGEMENT TYPICAL DETAILS FOR PRIVATE PROPERTY		DRYWELL	SW-180
					9-2-20



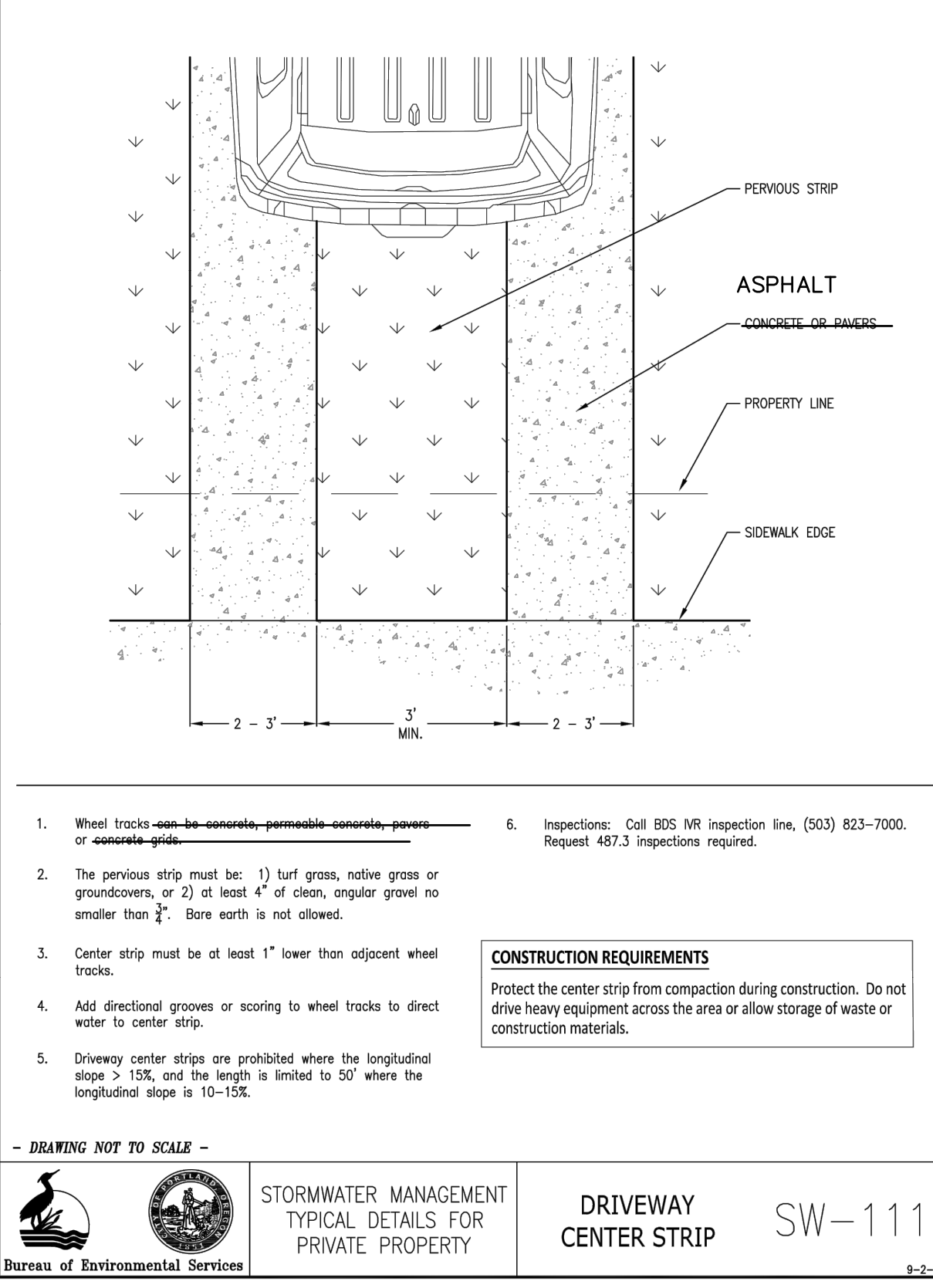
CITY OF CANBY		SIDEWALK			
BY: JT	DATE: 12-06-19	DWG NO: 103			



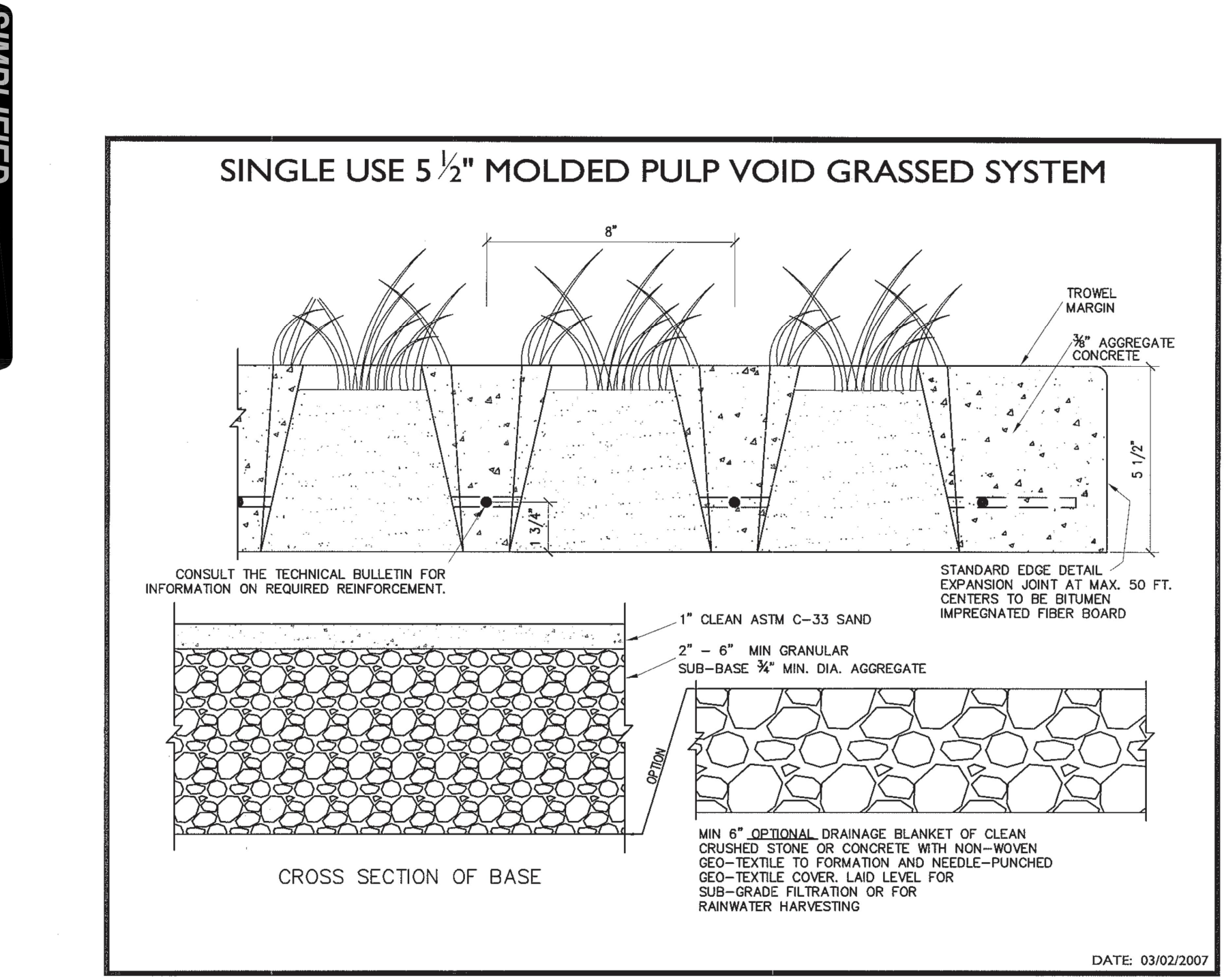
CITY OF CANBY		MONOLITHIC CURB AND GUTTER			
BY: JT	DATE: 12-06-19	DWG NO: 101			



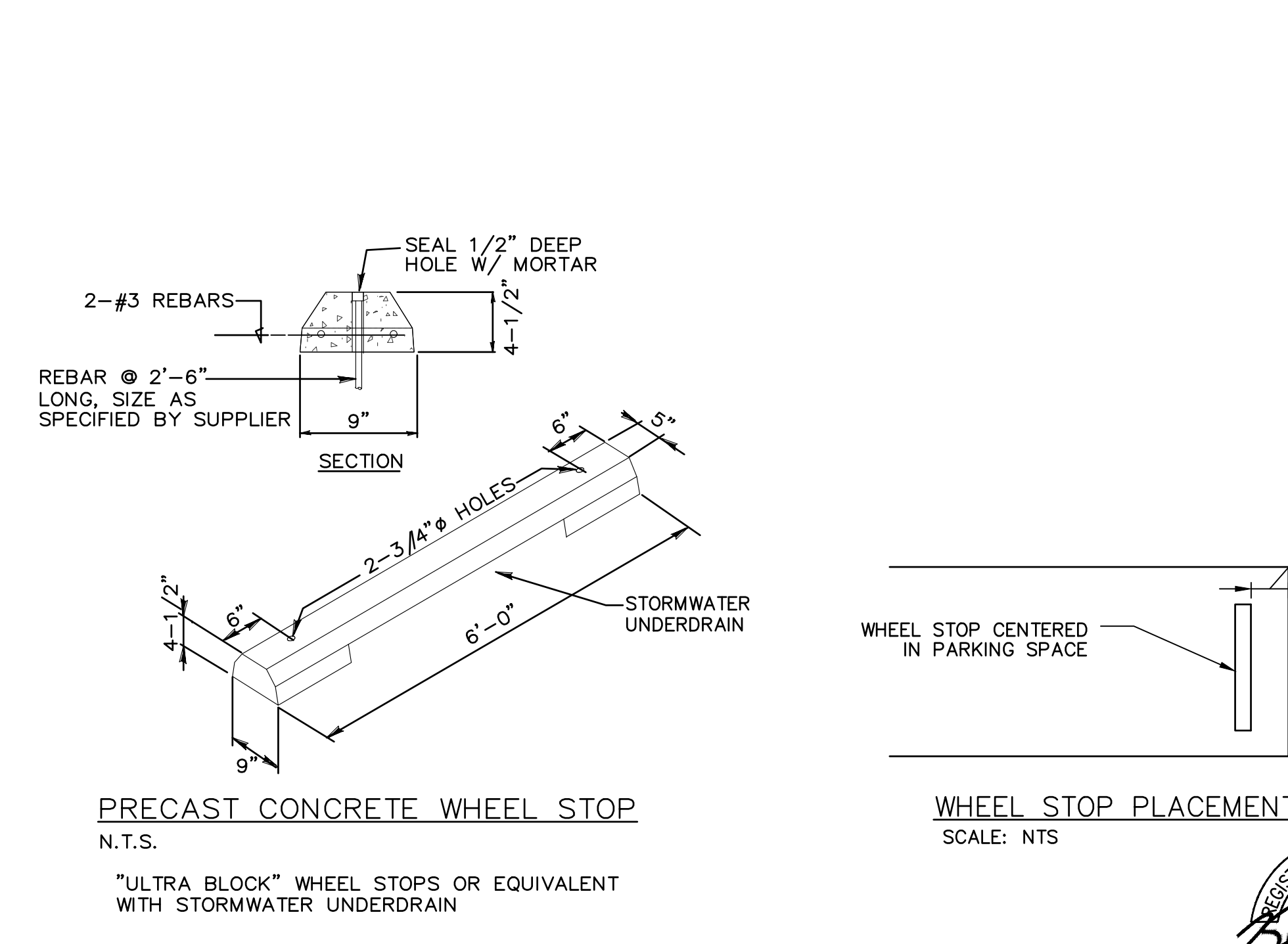
CITY OF CANBY		RESIDENTIAL DRIVEWAY			
BY: JT	DATE: 12-06-19	DWG NO: 106			



Bureau of Environmental Services		STORMWATER MANAGEMENT TYPICAL DETAILS FOR PRIVATE PROPERTY		DRIVEWAY CENTER STRIP	SW-111
					9-2-20



CITY OF CANBY		SIDEWALK			
BY: JT	DATE: 12-06-19	DWG NO: 103			



CITY OF CANBY		PRECAST CONCRETE WHEEL STOP			
BY: JT	DATE: 12-06-19	DWG NO: 101			

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DETAILS - STREET & STORM
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